



REQUEST FOR PROPOSAL
MEMORIAL HALL
BOUTIQUE HOTEL
PROJECT



INTRODUCTION: WHY A BOUTIQUE HOTEL IN DOWNTOWN LIMA

Choosing to run a boutique hotel in downtown Lima isn't just a business decision; it's a chance to be a part of a city in the middle of a remarkable transformation. The area is experiencing a surge of reinvestment, energy, and identity, and hospitality is becoming one of the most important missing pieces in that growth.

Downtown Lima has been steadily reclaiming its role as the region's cultural and economic heart. Historic buildings are being restored, new residential projects are taking shape, and the streets are seeing more positive foot traffic from people who want to live, work, and gather in a walkable, vibrant core. A boutique hotel doesn't just fit into this momentum; it elevates it. Guests want authenticity, character, and a connection to place, and downtown Lima is ready to offer that experience.

Just minutes down the road, some of the world's most influential companies are reshaping the region's economic landscape. They are expressing interest in a hotel venue to bring their clients and associates, and to have a unique place to stay and to do business. Amazon's logistics presence, Google's investment in data infrastructure, and Target's revitalized Lima Mall footprint are bringing new jobs, new families, and new business travelers to the area. These aren't small wins – they're catalytic anchors that signal long-term confidence in the region.

That momentum is reinforced by additional corporate heavyweights with deep roots in the region. Cenovus Energy's refining operations, Nutrien's agricultural production, Procter & Gamble's manufacturing footprint, and Bob Evans' food production facilities all bring steady streams of corporate visitors, vendors, and partners. Their presence underscores the breadth of industries investing in the Lima area and the ongoing need for high-quality lodging that can meet modern business expectations.

A boutique hotel in downtown Lima is more than a place to stay. It becomes a gateway into the city's story—where historic architecture meets new investment, where local restaurants and small businesses are thriving, and where visitors can feel the pulse of a community on the rise. It offers travelers something they can't get from a highway exit hotel: a sense of place, a sense of discovery, and a sense of belonging.

For an operator, the opportunity is clear. Downtown Lima is at the intersection of cultural revival and major economic development. The market is growing, the demand is rising, and the city is ready for a hospitality experience that reflects its renewed confidence. Running a boutique hotel here means stepping into a leadership role in the region's next chapter—helping shape the visitor experience of a city that's redefining itself in real time.

TABLE OF CONTENTS

Introduction – Why a Boutique Hotel in Downtown Lima	2
Timeline of RFP Process	4
Project at a Glance	5
Why Lima, Ohio?	5
What the Greater Lima Region Offers	9
The Lima Hotel Market	9
History of Memorial Hall	9
Structure of Memorial Hall	10
History & Process of the Project	10
What the PAAC has to Offer	10
What the PAAC Desires from this Partnership	11
Development Scenarios	11
Available Documents	11
Hotel Requirements	11
Additional Considerations	12
Submittal Requirements & Instructions	13
PAAC Memorial Hall Redevelopment Scoresheet	14
Submission of Proposals	15
RFP Website & Available Documents	15
General Terms & Conditions	15

TIMELINE OF RFP PROCESS

RFP Issued

April 20, 2026

Pre-Submittal On-Site Walk-Through

(Individual site visits available. Please contact Dave Stratton at strattond@greaterlimaregion.com or 419-348-6538)

May 1, 2026

Developer Questions Due

May 15, 2026 | By 5:00 PM

PAAC Responses

May 29, 2026

RFP Due Date

June 12, 2026 | By 2:00 PM

RFP Interviews

June 19, 2026

Hotel Developer Selected

June 26, 2026

PROJECT AT A GLANCE

Project Vision

- Redevelopment of Memorial Hall into a signature hospitality destination.
- Honoring historic, memorial, and architectural significance.
- Positioning as a catalytic project for Downtown Lima to enhance / support surrounding venues.
- Be a business, professional, event, and travel hotel with access to all the area support facilities.
- Capturing unmet corporate and business travel demand.
- Hospitality positioning: brand, experience, and operations.
- Enhance Community & Economic Impact.
- Alignment with downtown momentum and private investment.
- Regional economic development potential.

Market Opportunity

- Capturing unmet corporate and business travel demand.
- Hospitality positioning: brand, experience, and operations.

Community & Economic Impact

- Alignment with downtown momentum and private investment.
- Regional economic development potential.

Site & Parking Control

- The PAAC controlled sites adjacent to the Memorial Hall site.
- The proposed Hotel will be physically connected to the new construction.

Potential Public Incentives

- Public and Private financial support for the project.
- Favorable terms for a long-term ground lease of a hotel site.
- Additional financial and tax incentives to be considered.

Port Authority of Allen County (PAAC) Partnership

- Some initial Design and CMR costing is available on the project.
- After the vetting process, the PAAC desires to select the partnership that provides the highest assurance of delivering a quality hotel product in a timely manner and for a commensurate request of public financial participation.

WHY LIMA, OHIO?

Introducing Lima, Ohio

Strategic Plan & Vision

In 2019, regional partners launched a shared plan to revitalize downtown Lima—targeting over \$300 million in investment by 2035, focusing early efforts on key districts including the Memorial Hall corridor, and positioning Memorial Hall as a catalytic project that will drive continued growth, vibrancy, and long-term economic momentum throughout the urban core.

- **Addendum A:** Revitalizing Downtown Lima – Strategic Plan & Vision

Partnerships

Partnerships across Lima’s major employers, financial institutions, universities, and construction firms create a strong, diverse base of hotel demand.

WHY LIMA, OHIO? (CONTINUED)

Corporate travelers, medical professionals, visiting executives, university guests, and long-stay project crews all represent reliable year-round occupancy.

- **Major employers:** Cenovus, Procter & Gamble, Nutrien, General Dynamics, Lima Memorial/Mercy Health/St. Rita's.
- **Financial institutions:** Superior Credit Union, Huntington, Citizens National, First National, Chase, State Bank.
- **Universities:** Rhodes State, UNOH, Ohio State–Lima, Bluffton, Ohio Northern.
- **Construction firms:** Tuttle/Touchstone, Turner/Lathrup, Gilbane, Rudolph Libbe, Weigand, Blass, Alvada, Smith Boughn, Wightman, Bruns Construction, and Charles Construction.

The proposed boutique hotel is supported by a partnership between the Greater Lima Region (GLR), Allen Economic Development Group (AEDG), and the Allen County Port Authority (PAAC), positioning it as a catalytic, region-shaping investment. Their combined support strengthens feasibility, fills a long-recognized lodging gap, and creates a flagship venue for business recruitment, community events, and civic pride.

- **GLR:** Advances regional identity, quality of place, and workforce attraction.
- **AEDG:** Provides needed accommodations for corporate prospects and economic development.
- **Port Authority:** Offers financial tools that improve project feasibility.

Public Sector Support

- **City of Lima**
 - **Economic Development Tool:** A flagship hotel strengthens business recruitment by demonstrating that Lima offers the amenities needed to attract and retain talent.
 - **Hosting Dignitaries:** Provides an elevated, locally distinctive venue for visiting officials, delegations, and state leaders.
 - **City Council & Staff Retreats:** Offers professional meeting and workshop space rooted in the community.
 - **Civic Ceremonies & Public Events:** Creates a vibrant, central setting for recognition events, announcements, and community engagement sessions.
 - **Tourism Anchor:** Serves as a signature property that boosts overnight stays and drives visitors to local restaurants, arts venues, and attractions.
- **Allen County**
 - **County Commissioner Meetings & Receptions:** Provides a polished, professional venue for hosting state and federal officials, county partners, and community stakeholders.
 - **Allen Economic Development Group (AEDG) Corporate Site Visits:** Offers high-quality lodging and meeting space that strengthens first impressions when recruiting new businesses and evaluating Lima as a potential location.
 - **Veterans & Military Affairs:** Creates an appropriate setting for veterans' recognition events, defense-related meetings, and gatherings tied to the region's significant military and defense industry presence.

Community Support

As Lima invests in itself, there's strong local enthusiasm for a boutique hotel residents can use for celebrations, hosting guests, and showcasing their city. It fills a long-standing gap by offering a distinctive place to take visitors and clients, supported by a diverse, civic-minded population that favors authentic, homegrown venues. With local design, food, and storytelling rooted in Lima's heritage, the hotel would become a source of community pride that no national chain can match.

WHY LIMA, OHIO? (CONTINUED)

Room Night Generators

A boutique hotel directly supports the region's economic-development mission by serving as a visible, high-impact project that strengthens Lima's identity, enhances the quality of place, and signals confidence to outside investors. It anchors overnight accommodations in the urban core, helping attract and retain talent—something that matters as young professionals consistently weigh amenities and environment when choosing where to live and work. With a built-in demand base from major employers, hospitals, universities, and financial institutions, the hotel immediately strengthens the region's business-recruitment pitch and fills a critical gap when hosting executives, site selectors, and relocation candidates. The project also expands Allen County's economy by creating service-sector jobs that complement existing industry strengths and broaden the region's employment base.

Vibrancy of Downtown & Greater Lima Region

Downtown Lima is undergoing a major revitalization, fueled by more than \$70 million in new investment and a surge of restaurants, retail, and entertainment.

The Greater Lima region is growing quickly, powered by a manufacturing sector employing 108% more workers than the average U.S. city and supported by major corridors like I-75 and U.S. 30. The area now offers 200+ restaurants, 70+ shops, new attractions such as the Lima Aquatic Center, and family-friendly amenities like the Ottawa River Bikeway, while nearby communities like Delphos continue to revitalize their main streets.

This momentum is reinforced by steady business investment, strong community support, and a strategic location. A stable population and workforce keep demand consistent, the I-75/US-30 intersection brings continuous regional traffic, and nearby colleges—UNOH, Rhodes State, The Ohio State Lima Campus, Ohio Northern, and Bluffton—add a constant flow of students and visitors. Together, these strengths are transforming Lima into a vibrant, walkable urban center and creating a resilient market with ongoing development and investment opportunities.

Restaurant & Retail Scene

Downtown Lima seamlessly blends historic character with modern vibrancy, creating a thriving destination filled with food, culture, shopping, and entertainment. The district is experiencing an exciting resurgence, drawing renewed interest from residents and visitors alike. It's an ideal setting for nights out, weekend adventures, family activities, and for new residents seeking a lively, connected community.

Spring & Main Vibrancy Effort

A 36,000 sq. ft. redevelopment converting historic buildings into a dynamic mix of restaurants, entertainment venues, and office space. Positioned between Town Square and the Greater Lima Region Amphitheater, it's set to become a key destination within the district, with several new establishments planned. Establishments include:

- Casa Lu Al;
- Corner Pins;
- Nonno's Cellar;
- Smokin' Q Barbecue
- Old City Prime (an upscale steakhouse known for 21-day aged USDA prime steaks, boutique wine list, romantic ambiance, and weekend live entertainment).

Dining Scene

- Additional downtown favorites: Joey's Subs, 318 Restaurant & Bar; Social House; Thai Jasmine; Rigali's Pizza Village; Kewpee (a historic fast food chain).

WHY LIMA, OHIO? (CONTINUED)

- **Coffee Shops include:** Our Town Roast; Vibe Coffeehouse & Cafe; The Meeting Place on Market; Winans.

The Central District: A Unique Shopping Experience

Central District has grown into a lively destination for specialty shops, dining, nightlife, and culture. New boutiques, a European-style bakery, and wellness services complement the area. The Shops at Central District include Annette Marie, Groamy's Music, Modish Maven Boutique, Leaf & Luxe, Otterly Baths, Touch of Europe Bakery, and Winans Coffee and Chocolates.

Expanded Retail & Entertainment Nearby

- Lima Aquatic Park.
- Lima Mall (less than 4 miles away) includes:
 - American Eagle, Bath & Body Works, Francesca's, Kay Jewelers, Maurices, and Old Navy;
 - The Hero Day indoor inflatable park.
- New Target opening in late 2026 (Next to the Lima Mall).
- Lima Center (adjacent strip mall) includes: Hobby Lobby; TJ Maxx; Kohl's; Five Below; Shoe Carnival; Ulta Beauty.
- Additional Major retailers nearby: Walmart; Meijer; Sam's Club; Gordon Food Service.
- SkyZone (less than 2 miles from downtown): An indoor trampoline park suitable for all ages.

Attraction & Tourism

A Vibrant Destination

Downtown Lima is a vibrant, revitalized destination where historic charm meets modern culture and entertainment. With world-class performances, festivals, outdoor concerts, motorsports, and beloved community traditions, it offers something for everyone—from weekend travelers to families and culture-seekers.

- Supported by **Visit Greater Lima**, the region's tourism bureau, promoting nearly 200 restaurants, over 70 unique shops, and a thriving arts, culture, and sports scene.
- Conveniently located along I-75, making it a natural stop for travelers, meetings, and group tours.

Downtown Lima, Inc.

A nonprofit founded in 1995 to promote and revitalize the central business district. This organization helped create a walkable, event-filled urban core where restaurants, shops, and entertainment venues are all within a few blocks.

Veterans Memorial Civic & Convention Center

A major cultural anchor in downtown, the venue features a 13,950 sq. ft. exhibit hall, a 1,774-seat performance hall, the 200-seat City Club, and multiple event spaces. It hosts the Lima Symphony Orchestra, touring Broadway-style productions, trade shows, banquets, expos, and a wide range of community events, drawing thousands of visitors throughout the year.

Greater Lima Region Amphitheater

Opened in 2023 and managed by the Lima Festival & Amphitheater Alliance, the venue offers a full season of outdoor entertainment, including summer concerts, major festivals, weekly Friday events, and national-level performances. Designed to be user-friendly, visually appealing, and accessible to the community, it has quickly become a vibrant gathering place for the region.

WHY LIMA, OHIO? (CONTINUED)

Allen County Fairgrounds

Home to one of Ohio's top county fairs, the event draws more than 200,000 visitors each year and features hundreds of exhibitors along with one of the state's largest Junior Fair livestock auctions. It stands as a signature regional tradition, celebrated for its strong community involvement and deep local pride. Beyond fair week, the Fairgrounds hosts a wide range of regional events—from livestock shows and trade expos to concerts, festivals, and specialty competitions—that attract attendees from across Ohio and from neighboring states, further reinforcing its role as a year-round economic and cultural anchor for the region.

Limaland Motorsports Park

Located just six miles from downtown, this premier 40-acre dirt racing facility has been operating since 1935. Known for its fast, high-banked track and Friday night races from May through August, it remains a favorite destination for sprint car and modified racing fans.

WHAT THE GREATER LIMA REGION OFFERS

The Greater Lima Region provides a strong platform for a boutique hotel by combining historic reinvestment with coordinated regional economic leadership. GLR's mission—to drive business growth, capital investment, and community development across its eight-county area through collaboration and private-sector partnership—creates the conditions for projects like this to succeed. With revitalization efforts such as the transformation of Memorial Hall, a walkable downtown near restaurants, shops, and the Civic Center, and both local and potential state support, the region offers the momentum, character, and resources needed for a high-quality boutique hospitality development. More information is available at greaterlimaregion.com.

THE LIMA HOTEL MARKET

Beginning in the third quarter of 2024, the Spencer Group was engaged to conduct preliminary research on the Lima/Allen County hotel market. Their analysis reviewed nine competitive properties, representing approximately 906 rooms. The findings confirm that Lima currently has no boutique hotel concepts in operation.

The full Market Research and the Market Study Summary are included. I've completed a comparative analysis of boutique hotels across the region, and I've attached the research.

Attachments include:

- **Addendum B:** Spencer Group – Data and Measurements; Competitive Properties in Lima; Lima Market Study Summary: A Case for a Boutique Hotel in Lima, Ohio;
- **Addendum C:** Comparable Boutique Hotels in the Region.

HISTORY OF MEMORIAL HALL

Memorial Hall is a 1908 Beaux-Arts landmark in downtown Lima, built to honor local Civil War and Spanish-American War veterans and designed by Dawson & McLaughlin. Once a major civic and cultural center—with a grand marble staircase and a 1,000-plus-seat auditorium that hosted renowned performers such as John Philip Sousa's band, Victor Borge, and the Detroit Symphony Orchestra—it also housed key military and community organizations. Listed on the National Register of Historic Places, the building closed in 2014 but remains a striking symbol of Lima's early 20th-century heritage, with ongoing discussions about its preservation and future.

STRUCTURE OF MEMORIAL HALL

The restoration of Memorial Hall began not with blueprints or budgets, but with a question about the stories still embedded in its aging structure. After decades of hosting ceremonies, gatherings, and quiet moments of community life, the building had become a silent archive of its own history. When the city commissioned a comprehensive architectural and historical review, three key documents emerged as essential to understanding the Hall's past, present, and future. Those documents include:

- **Addendum D:** Interior & Exterior Structure Photos;
- **Addendum E:** Memorial Hall Blueprints (available upon request);
- **Addendum F:** Freytag Conceptual Design of Memorial Hall;
- **Addendum G:** Freytag Initial Study Inside Auditorium.

HISTORY & PROCESS OF THE PROJECT

The Memorial Hall project began with a clear design vision focused on preserving the building's historic character while improving its functionality for modern use. A cooperative agreement with Allen County established the partnership needed to move the effort forward. Freytag & Associates, Inc. then led the architectural design work, shaping the project's concepts into detailed plans. Throughout the process, Weigand Construction provided Construction Manager at Risk costing, ensuring the design aligned with budget expectations and project goals. Supporting documents include:

- **Addendum H:** Memorial Hall Design & Concept;
- Cooperative Agreement with Allen County;
- Design work – Freytag & Associates, Inc.;
- CMR costing – Weigand Construction.

WHAT THE PAAC HAS TO OFFER

Potential Resources From the Port Authority of Allen County (PAAC):

- Up to \$14M of available funding resources for the project:
 - \$1M from 2022 Ohio Capital Budget;
 - \$10M from 2024 Ohio Capital Budget;
 - \$2.5M from local businesses;
 - Capital Lease on the build out of materials – 5.75% on \$20M or \$10M in materials, a savings of up to \$575K.

What is yet to be secured:

- Purchase of Tomlinson Auto – \$500K;
- The County parking lot (verbal agreement established, but not written);
- Brownfield application (Max of \$5M, will apply for Max);
- **Needed:** Estimated 25% Match on the whole project – include Capital.

Eligible Activities:

- Demolition (Remediation of Historic Front);
- Remediation;
- Infrastructure:
 - Brownfield funding might include;
 - \$1-2M for Auditorium Tear down;
 - \$500K for Historic Building Remediation;

WHAT THE PAAC HAS TO OFFER (CONTINUED)

- \$100K for the teardown of Tomlinson;
- \$50K for Remediation of Tomlinson;
- \$200K for Utility site readiness;
- \$500K for Tomlinson acquisition;
- \$2.5M from potential business commitments.

WHAT THE PAAC DESIRES FROM THIS PARTNERSHIP

The PAAC Desires:

- Delivery of a high-quality boutique hotel;
- Co-equity ownership shared with the hotel group;
- Hotel group covers any gap between PAAC and final project cost;
- Hotel group manages the property;
- Support provided for development and surrounding facilities.

DEVELOPMENT SCENARIOS

- Version #1: 66-87 Room concept, partial demolition, new construction.
- Version #2: Restoration of the historic front section, teardown of the Auditorium, with a site ready for the hotel developer.
- Version #3: Full preservation with Tomlinson and County Lot.
- Version #4: Hotel works with PAAC to develop a boutique hotel.

AVAILABLE DOCUMENTS

- Blueprints of the original 1908 Building.
- Design and plans of Freytag & Associates, Inc.
- Costing evaluations of CMR – Weigand Construction.
- Hotel Studies done by Spencer Group.
- Environmental Studies (Ex. CEC).
- Information on the Share folder.

HOTEL REQUIREMENTS

GLR, AEDG, and the PAAC have been tasked with leading the effort to bring a hotel to market that offers a unique upscale product for business and the community. To compete effectively in its target markets, the proposed hotel must include or offer the items listed below.

The minimum requirements outlined below are encouraged for consideration:

- Luxury guestroom product desired;
- Integration of Memorial Hall as part of the facility;
- The honoring of veterans' & the legacy of Lima should be supported;
- Minimum of a limited-service hotel type (with food & beverage);
- Brand that is affiliated with a widely recognized national hotel company, if possible;
- Food and beverage outlet(s) including a restaurant/lounge;
- Amenities and public spaces that meet brand standards and community desires.

These organizations recognize that a successful project will likely require an approach that balances physical programming desires with economic realities. Furthermore, they understand that both public and private-sector partners must take part in ensuring a proper balance.

ADDITIONAL CONSIDERATIONS

PAAC is seeking a development partner to deliver a distinctive, nationally recognized, or boutique hotel that blends historic and new construction, is privately owned and professionally managed, and incorporates a curated Veteran and Lima-focused legacy theme. The hotel should provide a high-quality guest experience for corporate and industrial partners, healthcare professionals, regional visitors, wedding and social event guests, and military organizations. This is more than a traditional hotel project—it is a place-making initiative designed to create a meaningful destination. Additional Considerations may include:

- Flexible meeting rooms;
- Business center;
- Lounge/bar/kitchen to support light-duty restaurant and breakfast service;
- Outdoor relaxation area;
- Integrated design that connects the existing structure to new build components;
- New construction must be architecturally compatible;
- Establish a regional draw for overnight and event visitors, and increase foot traffic to adjacent.

SUBMITTAL REQUIREMENTS & INSTRUCTIONS

Cover Letter (max 2 pages)

- Introduce the full development team.
- Signed by an authorized principal of the lead developer.

Section 1: Strength of Team

- Identify all team members with primary contacts, including the Lead Developer.
 - Include brief resumes with name, title, address, phone, and email.
- Identify the Respondent's experience in the following areas:
 - Development;
 - Design;
 - Construction;
 - Facility Management;
 - Adaptive Reuse Projects;
- Identify Respondent's Brand Experience
 - Hotel portfolio
 - Hotel Brand(s) (evidence of brand support encouraged);
 - Hotel Management Company (if identified);
- Identify the Respondent's Financial Partners (if known);

Section 2: Market Familiarity

- Provide Respondent's experience in the following markets
 - Local – Lima, Allen County and Northwest Ohio
 - State of Ohio
 - National

Section 3: Proposed Facility Concept

- Ownership
- Design Compatibility (scale / Memorial Hall / Street)
- Flag
- Boutique (non-flag)
- Number of Keys
- Service Level
- Amenity Elements (Restaurant/Meeting Space/Other)

SUBMITTAL REQUIREMENTS & INSTRUCTIONS (CONTINUED)

- Incorporation of Memorial Hall
- Integration of Veterans & Legacy of Lima

Section 4: Proposed Ownership & Capital Structure

- Ownership
- Capital (Conceptual Sources)
- Public Participation
- Other (CRA/TIF/NCA/HTC/TMUD/Brownfield)

Section 5: Additional Information

Include any materials demonstrating the team's capability, alignment with PAAC & GLR, and the ability to deliver the hotel project.

The page immediately proceeding this page includes the PAAC Memorial Hall Redevelopment scoresheet.

RFP & Project Questions

All inquiries regarding this RFP and or the Hotel Project must be submitted in writing by 5:00 PM ET on May 15 and directed to Cindy Leis at leisc@aedg.org. Verbal responses to questions, at any time, are not official, and PAAC shall not be bound by such information. Prospects should not seek to discuss any information directly relating to this procurement with any PAAC employee or anyone affiliated with the Project, except during scheduled site visits or as otherwise provided for in the RFP. All questions will be answered via an addendum on the AEDG website.

PAAC Memorial Hall Redevelopment Scoring

4/16/2026

Lima, Ohio

PROPOSAL SCORING SHEET

SCORING CATEGORY	SCORING SUB-CATEGORY	SCORE	% OF TOTAL SCORE	Comments
1. Strength of Team		45	45%	
	Development	10	10%	
	Design	3	3%	
	Construction	2	2%	
	Facility Management	3	3%	
	Adaptive Reuse Experience	7	7%	
	Brand Experience	5	5%	
	Hotel Portfolio	5	5%	
	Financial Strength	5	5%	
	Public Private Partnership Experience	5	5%	
2. Market Familiarity		5	5%	
	Local State National	5	5%	
3. Proposed Facility Concept		34	34%	
	Overall Development Strategy	5	5%	
	Design compatibility (Scale Memorial Hall Street)	5	5%	
	Flag	4	4%	
	Boutique (Non-Flag)	1	1%	
	Number of Keys	5	5%	
	Service Level	5	5%	
	Amenity elements (Restaurant Meeting Space Other)	3	3%	
	Incorporation of Memorial Hall	3	3%	
	Integration of Veterans & Legacy of Lima	3	3%	
4. Proposed Ownership & Capital Structure		11	11%	
	Ownership	5	5%	
	Capital (Conceptual Sources)	4	4%	
	Public Participation	2	2%	
5. Additional Information		5	5%	
	Include any materials demonstrating the team's capability, alignment with PAAC & GLR, and the ability to deliver the hotel project.	5	5%	

Totals 100 100%

SUBMISSION OF PROPOSALS

Proposals must be submitted by June 12, 2026, at 5:00 PM to the ShareFile below:

<https://bricker.sharefile.com/r-r493d916ab6dc41398cb2f5b874c5b5f8>

Proposals received after the submittal deadline may not be considered.

Proposal Format

PAAC expects Submissions to be a compilation of various documents. Proposers shall use Microsoft Office file formats in preparing its Submission to the maximum extent possible. All pages should be formatted to print on 8 ½" x 11" paper, unless another format is provided by the response template. Responses should be specific, factual, brief and to the point.

The Proposer shall provide information in accordance with the format requirements set forth herein. Sales brochures and/or boiler-plate, pre-printed brochures are not desired unless directly related to the Proposal and referenced in the text. Audiovisual materials will not be accepted.

Interviews

PAAC anticipates short-listing three firms for interviews with desired Proposers after the submission of the Proposals. PAAC reserves the right to adjust the number of short-listed firms as desired. Proposers selected for an interview will be notified and interviewed on June 19, 2026. The location and time of the interview will be communicated to selected Proposers.

Award

After identification of the Proposer determined to be the most advantageous, a Memorandum of Understanding ("MOU") will be prepared for execution by the parties, incorporating applicable portions of the most advantageous. A sample MOU is attached hereto in Addendum I. This MOU is not in final form and will be used for discussion only. If, for any reason, the highest-ranked Proposer and PAAC are unable to conclude these final negotiations, PAAC may suspend negotiations with the highest-ranked Proposer and initiate negotiations with the next highest-ranked Proposer, and so on until the Agreement is awarded or the procurement is terminated. PAAC reserves the right to terminate negotiations at any time and implement a different project delivery method.

RFP WEBSITE & AVAILABLE DOCUMENTS

RFP Project Website & Available Documents

The link below provides the URL for the Project's website. The site will be maintained by PAAC throughout the project.

<https://www.aedg.org/announcements/>

Confidentiality & Evaluation

- Submissions will remain confidential during the evaluation process and until any shortlist is determined.
- Only the Evaluation Committee, PAAC, and authorized staff/agents may access submission materials.
- All submission content will be considered in the evaluation and recommendation process.

GENERAL TERMS & CONDITIONS

PAAC Rights & Reservation of Authority

PAAC reserves broad discretion throughout the RFP process, including the right to:

- Accept or reject any or all submissions;

GENERAL TERMS & CONDITIONS (CONTINUED)

- Cancel the solicitation at any time, in whole or in part;
- Waive irregularities or technicalities;
- Modify or amend the RFP, including extending deadlines;
- Accept alternative proposals if deemed in PAAC's best interest;
- Be the sole judge of submissions and final negotiated agreements;
- Investigate a responder's qualifications, including financial capacity, staffing, equipment, and past performance.

PAAC is not obligated to enter into any definitive agreements as a result of this RFP, and is not liable for any costs incurred by responders.

Responder Data & Public Records

- All submissions are subject to the Ohio Public Records Act and may become public after the evaluation process.
- Responders may request proprietary or confidential treatment for specific materials, but PAAC cannot guarantee exemption from disclosure.
- Confidential materials must be clearly marked and separable.
- Pricing and cost information cannot be treated as confidential.
- Entire submissions cannot be designated as confidential.

Deadline Extensions, Cancellation & Rejection

- PAAC may extend deadlines if necessary.
- PAAC may reject all submissions or cancel the RFP or project at any stage without liability.
- Minor variations in the selection process may be waived.

PAAC Rights & Reservation of Authority

Ambiguities & Clarifications

- Responders must promptly notify PAAC in writing of any ambiguity, conflict, or error in the RFP.
- PAAC will issue revisions or clarifications as needed.

Accuracy of Information

- PAAC makes no warranties regarding the accuracy or completeness of RFP information.
- Responders must conduct their own evaluations and use the information on an "as-is" basis.
- Updated information may be issued later in the process.

Equal Opportunity & Nondiscrimination

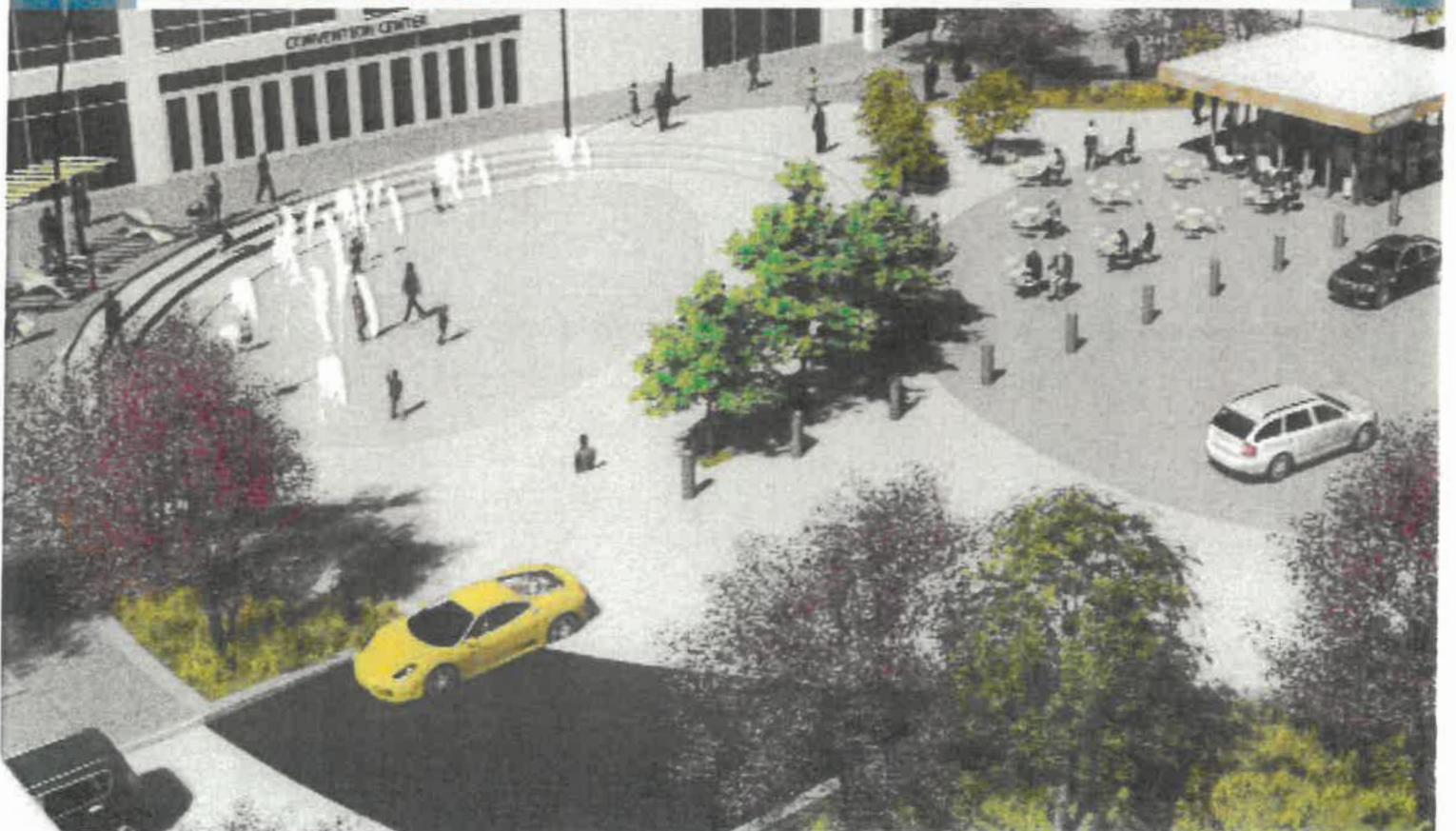
- PAAC is an Equal Opportunity Employer.
- Neither PAAC nor the selected responder may discriminate based on race, color, national origin, sex, religion, age, or disability.

Governing Law

- Any resulting agreements will be governed by Ohio law.
- All legal actions must be filed in Allen County, Ohio.

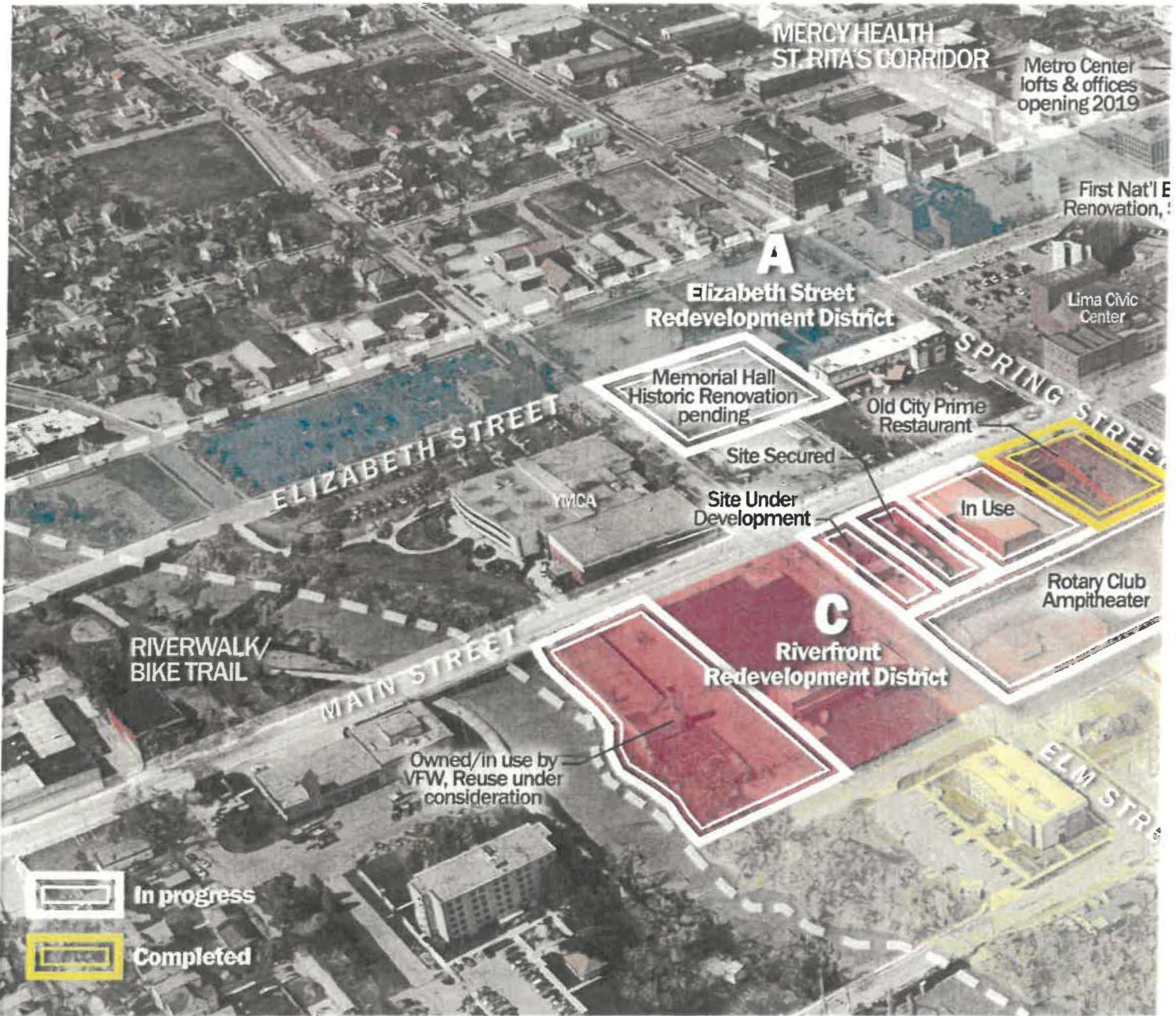


INVESTMENT OPPORTUNITIES IN
THE GREATER LIMA REGION
REVITALIZING DOWNTOWN LIMA



REDEVELOPMENT DISTRICTS

The five zones depicted below have been identified as prime development opportunities within the Central Business District that surrounds and encompasses the Lima Square (Zone B). Properties within these five zones (28 blocks) range from sites worthy of historic restoration and preservation to distressed properties that need to be razed and rebuilt from the ground up.



Potential Project Sites

TOTAL POTENTIAL INVESTMENT: \$300M



Elizabeth Street Redevelopment District

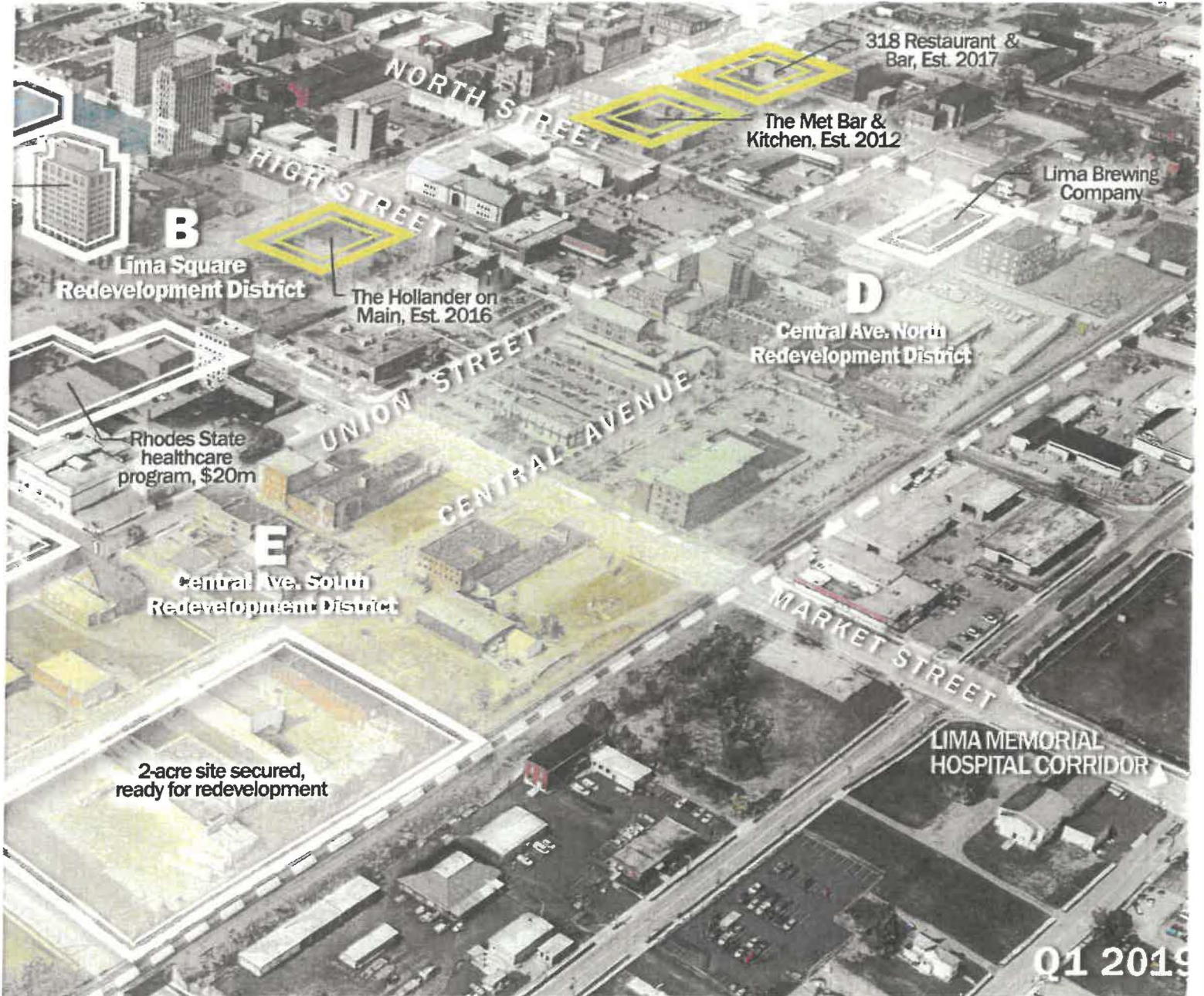


Lima Square Redevelopment District

ADDENDUM A (CONTINUED)

Several developers have begun revitalizing select projects. These attractive initiatives will complement the other efforts, as the Central Business District is presented as a unique opportunity for a group of investors to transform the current landscape into a desirable urban lifestyle.

State, County, and City/Township officials are being engaged in the essential dialogues and agreements needed to assure the most attractive incentives and considerations are able to be offered to site developers and investors in this revitalization.



C Riverfront Redevelopment District



D Central Ave. North Redevelopment District



E Central Ave. South Redevelopment District

ADDENDUM B

Trend # 1530259_SADIM / Created October 14, 2024



Trend Report - Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

January 2016 to August 2024 Currency : USD - US Dollar

Table of Contents	1
Data by Measure	2
Percent Change by Measure	3
Percent Change by Year	4
Twelve Month Moving Average	5
Twelve Month Moving Average with Percent Change	6
Day of Week Analysis	7
Raw Data	8
Classic	9
Response Report	10
Terms and Conditions	11
Help	12

Corporate North American Headquarters

T: +1 (615) 824 8664

trend@str.com www.str.com

International Headquarters

T: +44 (0) 207 922 1930

hoteltrends@str.com www.str.com

2024 © CoStar Group. This STR Report is a publication of STR, LLC and STR Global, Ltd., CoStar Group companies, and is intended solely for use by paid subscribers. The information in the STR Report is provided on an "as is" and "as available" basis and should not be construed as investment, tax, accounting or legal advice. Reproduction or distribution of this STR Report, in whole or part, without written permission is prohibited and subject to legal action. If you have received this report and are NOT a subscriber to this STR Report, please contact us immediately. Source: 2024 STR, LLC / STR Global, Ltd. trading as "STR".

APPENDIX B (CONTINUED)

Tab 2 - Data by Measure

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Occupancy (%)														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2016	58.6	65.1	83.2	86.5	71.0	72.5	76.9	74.6	68.5	75.6	67.6	54.5	71.3	73.6
2017	52.1	59.3	65.5	67.4	72.3	79.8	77.0	78.7	77.9	73.4	68.0	52.5	68.7	69.1
2018	56.9	62.8	71.0	76.2	79.1	84.7	76.2	80.6	81.6	89.5	64.8	51.2	72.9	73.5
2019	54.9	66.9	71.4	70.7	70.8	81.2	82.2	86.1	86.7	91.7	78.2	63.0	75.3	73.1
2020	64.2	68.0	48.8	28.8	40.7	57.8	62.2	66.9	78.9	64.7	52.1	45.6	56.5	54.6
2021	47.4	52.4	59.7	61.5	64.1	66.8	63.5	67.2	66.1	90.2	65.3	50.9	63.3	60.7
2022	53.9	59.4	64.4	64.4	61.0	68.8	71.6	65.2	71.3	69.0	63.9	47.6	63.4	63.6
2023	50.3	60.6	65.8	64.4	72.8	79.0	73.3	69.5	65.4	63.0	52.2	45.7	63.2	67.0
2024	52.0	57.3	61.2	67.1	62.7	76.6	67.4	83.0						66.0
Avg	54.3	61.1	65.5	65.3	66.0	74.1	72.0	74.5	74.0	76.7	63.6	51.1	66.6	66.7

ADR (\$)														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2016	85.67	87.52	91.15	92.47	93.87	94.30	91.59	92.51	89.44	90.29	90.04	84.91	90.59	91.36
2017	88.86	89.90	90.10	90.55	93.99	94.58	95.52	94.34	93.11	94.42	93.38	88.03	92.55	92.56
2018	93.22	92.97	94.33	96.68	97.88	103.98	100.12	102.80	103.02	104.08	98.70	92.10	98.93	98.20
2019	93.43	94.95	98.42	100.02	101.16	105.47	101.68	101.46	101.61	105.51	101.62	95.23	100.52	100.00
2020	99.96	100.43	98.51	85.18	84.59	87.52	87.64	90.47	94.88	96.02	90.94	85.32	92.53	92.54
2021	86.32	86.91	88.68	89.76	86.83	102.54	101.13	101.33	106.77	109.79	102.84	98.30	99.08	95.28
2022	98.45	99.46	101.94	100.70	102.85	107.51	104.75	104.07	102.56	100.24	98.17	97.72	101.75	102.68
2023	98.73	102.58	104.20	105.99	106.39	100.15	108.85	111.53	107.51	109.64	104.62	97.84	105.19	105.05
2024	97.91	105.43	106.24	123.50	108.61	113.09	110.33	110.55						109.98
Avg	94.00	96.09	97.32	99.92	99.46	101.83	100.74	101.63	100.14	101.97	97.88	92.78	97.90	99.15

RevPAR (\$)														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2016	50.22	56.99	75.85	80.03	66.65	68.34	70.41	69.02	61.30	68.30	60.91	46.28	64.55	67.25
2017	46.34	53.30	59.05	61.02	67.91	75.49	73.55	74.29	72.55	69.32	63.46	46.23	63.58	63.96
2018	53.00	58.39	67.01	73.70	77.41	88.10	76.27	82.83	84.05	93.20	63.99	47.16	72.15	72.18
2019	51.33	63.53	70.26	70.67	71.59	85.65	83.63	87.41	88.07	96.71	79.43	60.04	75.74	73.08
2020	64.12	68.25	48.11	24.51	34.41	50.56	54.49	60.50	74.90	62.10	47.36	38.92	52.25	50.51
2021	40.90	45.53	52.97	55.25	62.08	68.48	64.26	68.04	70.53	98.98	67.19	50.03	62.76	57.84
2022	53.05	59.07	65.63	64.84	62.73	73.92	75.00	67.83	73.12	69.13	62.74	46.48	64.46	65.30
2023	49.68	62.18	68.62	68.25	77.46	79.09	79.78	77.48	70.30	69.11	54.58	44.69	66.51	70.39
2024	50.91	60.43	65.01	82.89	68.12	86.59	74.37	91.81						72.56
Avg	51.07	58.75	63.77	65.21	65.61	75.42	72.51	75.76	74.12	78.24	62.28	47.41	65.24	66.12

Supply														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2016	21,669	19,572	21,669	20,970	21,669	20,910	21,607	21,607	20,910	21,607	20,910	21,607	254,707	169,673
2017	21,607	19,516	21,607	20,910	21,607	20,910	21,607	21,607	20,910	21,607	20,910	21,607	254,405	169,371
2018	21,607	19,516	21,607	20,910	21,607	20,910	21,607	21,607	20,910	21,607	20,910	21,607	254,405	169,371
2019	21,607	19,516	21,607	20,910	21,607	20,910	21,607	21,607	20,910	21,607	20,910	21,607	254,405	169,371
2020	21,607	19,516	21,607	20,910	21,607	20,910	21,607	21,607	20,910	21,607	20,910	21,607	254,405	169,371
2021	21,607	19,516	21,607	20,910	21,607	20,910	21,607	21,607	20,910	21,607	20,910	21,607	254,405	169,371
2022	25,017	22,596	25,017	24,210	25,017	24,210	25,017	25,017	24,210	25,017	24,210	25,017	294,555	196,101
2023	25,017	22,596	25,017	24,210	25,017	24,210	25,017	25,017	27,180	28,086	27,180	28,086	306,633	196,101
2024	28,086	25,368	28,086	27,180	28,086	27,180	28,086	28,086						220,158
Avg	23,092	20,857	23,092	22,347	23,092	22,707	23,464	23,464	22,519	23,269	22,519	23,269	268,933	182,112

Demand														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2016	12,703	12,745	18,033	18,149	15,386	15,153	16,609	16,120	14,332	16,345	14,144	11,776	181,495	124,898
2017	11,268	11,571	14,160	14,090	15,612	16,690	16,638	17,015	16,292	15,863	14,211	11,347	174,757	117,044
2018	12,286	12,256	15,348	17,089	15,939	17,715	16,461	17,409	17,060	19,349	13,556	11,065	185,533	124,503
2019	11,872	13,057	15,424	14,774	15,290	16,980	17,771	18,614	18,123	19,805	16,344	13,623	191,677	123,782
2020	13,861	13,262	10,552	6,016	8,790	12,081	13,434	14,448	16,507	13,974	10,890	9,857	143,672	92,444
2021	10,239	10,223	12,907	12,870	13,852	16,168	15,896	16,799	15,993	22,554	15,818	12,733	176,052	108,954
2022	13,480	13,421	16,106	15,589	15,259	16,646	17,913	16,306	17,261	17,253	15,473	11,898	186,605	124,720
2023	12,588	13,697	16,473	15,589	18,215	19,119	18,336	17,379	17,772	17,703	14,180	12,828	193,879	131,396

2024	14,604	14,540	17,186	18,242	17,616	20,812	18,932	23,324							145,256
Avg	12,545	12,752	15,132	14,584	15,234	16,818	16,888	17,490	16,668	17,856	14,327	11,891		179,209	121,444

Revenue (\$)														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2016	1,088,254	1,115,402	1,643,671	1,678,267	1,444,223	1,428,967	1,521,270	1,491,244	1,281,822	1,475,742	1,273,536	999,938	16,442,336	11,411,298
2017	1,001,321	1,040,193	1,275,796	1,275,868	1,467,326	1,578,528	1,589,183	1,605,266	1,516,922	1,497,855	1,327,038	998,869	16,174,165	10,833,481
2018	1,145,247	1,139,494	1,447,802	1,541,035	1,672,654	1,842,082	1,648,011	1,789,706	1,757,473	2,013,830	1,337,969	1,019,056	18,354,359	12,226,031
2019	1,109,142	1,239,774	1,518,022	1,477,714	1,546,772	1,790,941	1,806,968	1,888,668	1,841,544	2,089,716	1,660,879	1,297,336	19,267,476	12,378,001
2020	1,385,523	1,331,944	1,039,469	512,469	743,532	1,057,269	1,177,315	1,307,120	1,566,142	1,341,833	990,303	840,958	13,293,877	8,554,641
2021	883,801	888,496	1,144,572	1,155,243	1,341,312	1,657,791	1,607,497	1,702,201	1,707,541	2,476,281	1,626,655	1,251,714	17,443,104	10,380,913
2022	1,327,170	1,334,818	1,641,848	1,569,823	1,569,327	1,789,638	1,876,395	1,696,947	1,770,247	1,729,424	1,519,030	1,162,731	18,987,398	12,805,966
2023	1,242,834	1,405,019	1,716,546	1,652,329	1,937,811	1,914,841	1,995,800	1,938,361	1,910,679	1,940,901	1,483,450	1,255,085	20,393,656	13,803,541
2024	1,429,899	1,532,967	1,825,862	2,252,820	1,913,277	2,353,569	2,088,717	2,578,445						15,975,556
Avg	1,179,243	1,225,345	1,472,621	1,457,285	1,515,137	1,712,625	1,701,240	1,777,551	1,669,046	1,820,698	1,402,358	1,103,211	17,544,546	12,041,048

2024 © CoStar Group. This STR Report is a publication of STR, LLC and STR Global, Ltd., CoStar Group companies, and is intended solely for use by paid subscribers. The information in the STR Report is provided on an "as is" and "as available" basis and should not be construed as investment, tax, accounting or legal advice. Reproduction or distribution of this STR Report, in whole or part, without written permission is prohibited and subject to legal action. If you have received this report and are NOT a subscriber to this STR Report, please contact us immediately. Source: 2024 STR, LLC / STR Global, Ltd. trading as "STR".

ADDENDUM B (CONTINUED)

Tab 3 - Percent Change from Previous Year - Detail by Measure

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Occupancy														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2017	-11.0	-9.0	-21.3	-22.1	1.8	10.1	0.2	5.6	13.7	-2.9	0.5	-3.6	-3.6	-6.1
2018	9.0	5.9	8.4	13.1	9.5	6.1	-1.1	2.3	4.7	22.0	-4.6	-2.5	6.2	6.4
2019	-3.4	6.5	0.5	-7.3	-10.5	-4.1	8.0	6.9	6.2	2.4	20.6	23.1	3.3	-0.6
2020	16.8	1.6	-31.6	-59.3	-42.5	-28.9	-24.4	-22.4	-8.9	-29.4	-33.4	-27.6	-25.0	-25.3
2021	-26.1	-22.9	22.3	113.9	57.6	15.6	2.2	0.4	-16.3	15.6	25.5	11.6	12.2	11.2
2022	13.7	13.4	7.8	4.6	-4.9	3.0	12.7	-2.9	7.9	-23.5	-2.2	-6.6	0.0	4.8
2023	-6.6	2.1	2.3	0.0	19.4	14.9	2.4	6.6	-8.3	-8.6	-18.4	-4.0	-0.2	5.4
2024	3.3	-5.4	-7.1	4.2	-13.9	-3.0	-8.0	19.5						-1.5
Avg	-0.5	-1.0	-2.3	5.9	2.1	1.7	-1.0	2.0	-0.1	-0.1	-1.7	-1.4	-1.0	-0.7

ADR														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2017	3.7	2.7	-1.2	-2.1	0.1	0.3	4.3	2.0	4.1	4.6	3.7	3.7	2.2	1.3
2018	4.9	3.4	4.7	6.8	4.1	9.9	4.8	9.0	10.6	10.2	5.7	4.6	6.9	6.1
2019	0.2	2.1	4.3	3.5	3.4	1.4	1.6	-1.3	-1.4	1.4	3.0	3.4	1.6	1.8
2020	7.0	5.8	0.1	-14.8	-16.4	-17.0	-13.8	-10.8	-6.6	-9.0	-10.5	-10.4	-7.9	-7.5
2021	-13.6	-13.5	-10.0	5.4	14.5	17.2	15.4	12.0	12.5	14.3	13.1	15.2	7.1	3.0
2022	14.1	14.4	15.0	12.2	6.2	4.9	3.6	2.7	-3.9	-8.7	-4.5	-0.6	2.7	7.8
2023	0.3	3.1	2.2	5.3	3.4	-6.8	3.9	7.2	4.8	9.4	6.6	0.1	3.4	2.3
2024	-0.8	2.8	2.0	16.5	2.1	12.9	1.4	-0.9						4.7
Avg	2.0	2.6	2.1	4.1	2.2	2.8	2.6	2.5	2.9	3.2	2.4	2.3	2.3	2.4

RevPAR														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2017	-7.7	-6.5	-22.2	-23.8	1.9	10.5	4.5	7.6	18.3	1.5	4.2	-0.1	-1.5	-4.9
2018	14.4	9.5	13.5	20.8	14.0	16.7	3.7	11.5	15.9	34.4	0.8	2.0	13.5	12.9
2019	-3.2	8.8	4.9	-4.1	-7.5	-2.8	9.6	5.5	4.8	3.8	24.1	27.3	5.0	1.2
2020	24.9	7.4	-31.5	-65.3	-51.9	-41.0	-34.8	-30.8	-15.0	-35.8	-40.4	-35.2	-31.0	-30.9
2021	-36.2	-33.3	10.1	125.4	80.4	35.4	17.9	12.5	-5.8	59.4	41.9	28.6	20.1	14.5
2022	29.7	29.8	23.9	17.4	1.1	8.0	16.7	-0.3	3.7	-30.2	-6.6	-7.1	2.7	12.9
2023	-6.4	5.3	4.5	5.3	23.5	7.0	6.4	14.2	-3.9	-0.0	-13.0	-3.9	3.2	7.8
2024	2.5	-2.8	-5.3	21.4	-12.1	9.5	-6.8	18.5						3.1
Avg	2.3	2.3	-0.3	12.1	6.2	5.4	2.2	4.8	2.6	4.7	1.6	1.7	1.7	2.1

Supply														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2017	-0.3	-0.3	-0.3	-0.3	-0.3	0.0	0.0	0.0	0.0	0.0	0.0	0.0	-0.1	-0.2
2018	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
2019	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
2020	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
2021	0.0	0.0	0.0	0.0	0.0	15.8	15.8	15.8	15.8	15.8	15.8	15.8	9.3	6.0
2022	15.8	15.8	15.8	15.8	15.8	0.0	0.0	0.0	0.0	0.0	0.0	0.0	6.0	9.3
2023	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	12.3	12.3	12.3	12.3	4.1	0.0
2024	12.3	12.3	12.3	12.3	12.3	12.3	12.3	12.3						12.3
Avg	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	4.0	4.0	4.0	4.0	2.7	3.4

Demand														
	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2017	-11.3	-9.2	-21.5	-22.4	1.5	10.1	0.2	5.6	13.7	-2.9	0.5	-3.6	-3.7	-6.3
2018	9.0	5.9	8.4	13.1	9.5	6.1	-1.1	2.3	4.7	22.0	-4.6	-2.5	6.2	6.4
2019	-3.4	6.5	0.5	-7.3	-10.5	-4.1	8.0	6.9	6.2	2.4	20.6	23.1	3.3	-0.6
2020	16.8	1.6	-31.6	-59.3	-42.5	-28.9	-24.4	-22.4	-8.9	-29.4	-33.4	-27.6	-25.0	-25.3
2021	-26.1	-22.9	22.3	113.9	57.6	15.6	2.2	0.4	-16.3	15.6	25.5	11.6	12.2	11.2
2022	31.7	31.3	24.8	21.1	10.2	3.0	12.7	-2.9	7.9	-23.5	-2.2	-6.6	6.0	14.5
2023	-6.6	2.1	2.3	0.0	19.4	14.9	2.4	6.6	3.0	2.6	-8.4	7.8	3.9	5.4
2024	16.0	6.2	4.3	17.0	-3.3	8.9	3.3	34.2						10.5
Avg	3.3	2.7	1.2	9.5	5.2	5.5	2.4	5.8	3.4	4.6	2.5	2.8	1.9	2.8

Revenue														
---------	--	--	--	--	--	--	--	--	--	--	--	--	--	--

	January	February	March	April	May	June	July	August	September	October	November	December	Total Year	Aug YTD
2017	-8.0	-6.7	-22.4	-24.0	1.6	10.5	4.5	7.6	18.3	1.5	4.2	-0.1	-1.6	-5.1
2018	14.4	9.5	13.5	20.8	14.0	16.7	3.7	11.5	15.9	34.4	0.8	2.0	13.5	12.9
2019	-3.2	8.8	4.9	-4.1	-7.5	-2.8	9.6	5.5	4.8	3.8	24.1	27.3	5.0	1.2
2020	24.9	7.4	-31.5	-65.3	-51.9	-41.0	-34.8	-30.8	-15.0	-35.8	-40.4	-35.2	-31.0	-30.9
2021	-36.2	-33.3	10.1	125.4	80.4	56.8	36.5	30.2	9.0	84.5	64.3	48.8	31.2	21.3
2022	50.2	50.2	43.4	35.9	17.0	8.0	16.7	-0.3	3.7	-30.2	-6.6	-7.1	8.9	23.4
2023	-6.4	5.3	4.5	5.3	23.5	7.0	6.4	14.2	7.9	12.2	-2.3	7.9	7.4	7.8
2024	15.1	9.1	6.4	36.3	-1.3	22.9	4.7	33.0						15.7
Avg	6.4	6.3	3.6	16.3	9.5	9.8	5.9	8.9	6.4	10.1	6.3	6.2	4.8	5.8

2024 © CoStar Group. This STR Report is a publication of STR, LLC and STR Global, Ltd., CoStar Group companies, and is intended solely for use by paid subscribers. The information in the STR Report is provided on an "as is" and "as available" basis and should not be construed as investment, tax, accounting or legal advice. Reproduction or distribution of this STR Report, in whole or part, without written permission is prohibited and subject to legal action. If you have received this report and are NOT a subscriber to this STR Report, please contact us immediately. Source: 2024 STR, LLC / STR Global, Ltd. trading as "STR".

ADDENDUM B (CONTINUED)

Tab 4 - Percent Change from Previous Year - Detail by Year

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

	Jan 17	Feb 17	Mar 17	Apr 17	May 17	Jun 17	Jul 17	Aug 17	Sep 17	Oct 17	Nov 17	Dec 17	Total Year	Aug YTD
Occ	-11.0	-9.0	-21.3	-22.1	1.8	10.1	0.2	5.6	13.7	-2.9	0.5	-3.6	-3.6	-6.1
ADR	3.7	2.7	-1.2	-2.1	0.1	0.3	4.3	2.0	4.1	4.6	3.7	3.7	2.2	1.3
RevPAR	-7.7	-6.5	-22.2	-23.8	1.9	10.5	4.5	7.6	18.3	1.5	4.2	-0.1	-1.5	-4.9
Supply	-0.3	-0.3	-0.3	-0.3	-0.3	0.0	0.0	0.0	0.0	0.0	0.0	0.0	-0.1	-0.2
Demand	-11.3	-9.2	-21.5	-22.4	1.5	10.1	0.2	5.6	13.7	-2.9	0.5	-3.6	-3.7	-6.3
Revenue	-8.0	-6.7	-22.4	-24.0	1.6	10.5	4.5	7.6	18.3	1.5	4.2	-0.1	-1.6	-5.1

	Jan 18	Feb 18	Mar 18	Apr 18	May 18	Jun 18	Jul 18	Aug 18	Sep 18	Oct 18	Nov 18	Dec 18	Total Year	Aug YTD
Occ	9.0	5.9	8.4	13.1	9.5	6.1	-1.1	2.3	4.7	22.0	-4.6	-2.5	6.2	6.4
ADR	4.9	3.4	4.7	6.8	4.1	9.9	4.8	9.0	10.6	10.2	5.7	4.6	6.9	6.1
RevPAR	14.4	9.5	13.5	20.8	14.0	16.7	3.7	11.5	15.9	34.4	0.8	2.0	13.5	12.9
Supply	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Demand	9.0	5.9	8.4	13.1	9.5	6.1	-1.1	2.3	4.7	22.0	-4.6	-2.5	6.2	6.4
Revenue	14.4	9.5	13.5	20.8	14.0	16.7	3.7	11.5	15.9	34.4	0.8	2.0	13.5	12.9

	Jan 19	Feb 19	Mar 19	Apr 19	May 19	Jun 19	Jul 19	Aug 19	Sep 19	Oct 19	Nov 19	Dec 19	Total Year	Aug YTD
Occ	-3.4	6.5	0.5	-7.3	-10.5	-4.1	8.0	6.9	6.2	2.4	20.6	23.1	3.3	-0.6
ADR	0.2	2.1	4.3	3.5	3.4	1.4	1.6	-1.3	-1.4	1.4	3.0	3.4	1.6	1.8
RevPAR	-3.2	8.8	4.9	-4.1	-7.5	-2.8	9.6	5.5	4.8	3.8	24.1	27.3	5.0	1.2
Supply	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Demand	-3.4	6.5	0.5	-7.3	-10.5	-4.1	8.0	6.9	6.2	2.4	20.6	23.1	3.3	-0.6
Revenue	-3.2	8.8	4.9	-4.1	-7.5	-2.8	9.6	5.5	4.8	3.8	24.1	27.3	5.0	1.2

	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20	Jul 20	Aug 20	Sep 20	Oct 20	Nov 20	Dec 20	Total Year	Aug YTD
Occ	16.8	1.6	-31.6	-59.3	-42.5	-28.9	-24.4	-22.4	-8.9	-29.4	-33.4	-27.6	-25.0	-25.3
ADR	7.0	5.8	0.1	-14.8	-16.4	-17.0	-13.8	-10.8	-6.6	-9.0	-10.5	-10.4	-7.9	-7.5
RevPAR	24.9	7.4	-31.5	-65.3	-51.9	-41.0	-34.8	-30.8	-15.0	-35.8	-40.4	-35.2	-31.0	-30.9
Supply	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Demand	16.8	1.6	-31.6	-59.3	-42.5	-28.9	-24.4	-22.4	-8.9	-29.4	-33.4	-27.6	-25.0	-25.3
Revenue	24.9	7.4	-31.5	-65.3	-51.9	-41.0	-34.8	-30.8	-15.0	-35.8	-40.4	-35.2	-31.0	-30.9

	Jan 21	Feb 21	Mar 21	Apr 21	May 21	Jun 21	Jul 21	Aug 21	Sep 21	Oct 21	Nov 21	Dec 21	Total Year	Aug YTD
Occ	-26.1	-22.9	22.3	113.9	57.6	15.6	2.2	0.4	-16.3	39.4	25.5	11.6	12.2	11.2
ADR	-13.6	-13.5	-10.0	5.4	14.5	17.2	15.4	12.0	12.5	14.3	13.1	15.2	7.1	3.0
RevPAR	-36.2	-33.3	10.1	125.4	80.4	35.4	17.9	12.5	-5.8	59.4	41.9	28.6	20.1	14.5
Supply	0.0	0.0	0.0	0.0	0.0	15.8	15.8	15.8	15.8	15.8	15.8	15.8	9.3	6.0
Demand	-26.1	-22.9	22.3	113.9	57.6	33.8	18.3	16.3	-3.1	61.4	45.3	29.2	22.5	17.9
Revenue	-36.2	-33.3	10.1	125.4	80.4	56.8	36.5	30.2	9.0	84.5	64.3	48.8	31.2	21.3

	Jan 22	Feb 22	Mar 22	Apr 22	May 22	Jun 22	Jul 22	Aug 22	Sep 22	Oct 22	Nov 22	Dec 22	Total Year	Aug YTD
Occ	13.7	13.4	7.8	4.6	-4.9	3.0	12.7	-2.9	7.9	-23.5	-2.2	-6.6	0.0	4.8
ADR	14.1	14.4	15.0	12.2	6.2	4.9	3.6	2.7	-3.9	-8.7	-4.5	-0.6	2.7	7.8
RevPAR	29.7	29.8	23.9	17.4	1.1	8.0	16.7	-0.3	3.7	-30.2	-6.6	-7.1	2.7	12.9
Supply	15.8	15.8	15.8	15.8	15.8	0.0	0.0	0.0	0.0	0.0	0.0	0.0	6.0	9.3
Demand	31.7	31.3	24.8	21.1	10.2	3.0	12.7	-2.9	7.9	-23.5	-2.2	-6.6	6.0	14.5
Revenue	50.2	50.2	43.4	35.9	17.0	8.0	16.7	-0.3	3.7	-30.2	-6.6	-7.1	8.9	23.4

	Jan 23	Feb 23	Mar 23	Apr 23	May 23	Jun 23	Jul 23	Aug 23	Sep 23	Oct 23	Nov 23	Dec 23	Total Year	Aug YTD
Occ	-6.6	2.1	2.3	0.0	19.4	14.9	2.4	6.6	-8.3	-8.6	-18.4	-4.0	-0.2	5.4
ADR	0.3	3.1	2.2	5.3	3.4	-6.8	3.9	7.2	4.8	9.4	6.6	0.1	3.4	2.3
RevPAR	-6.4	5.3	4.5	5.3	23.5	7.0	6.4	14.2	-3.9	-0.0	-13.0	-3.9	3.2	7.8
Supply	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	12.3	12.3	12.3	12.3	4.1	0.0
Demand	-6.6	2.1	2.3	0.0	19.4	14.9	2.4	6.6	3.0	2.6	-8.4	7.8	3.9	5.4
Revenue	-6.4	5.3	4.5	5.3	23.5	7.0	6.4	14.2	7.9	12.2	-2.3	7.9	7.4	7.8

	Jan 24	Feb 24	Mar 24	Apr 24	May 24	Jun 24	Jul 24	Aug 24	Sep 24	Oct 24	Nov 24	Dec 24	Total Year	Aug YTD
Occ	3.3	-5.4	-7.1	4.2	-13.9	-3.0	-8.0	19.5						-1.5
ADR	-0.8	2.8	2.0	16.5	2.1	12.9	1.4	-0.9						4.7

RevPAR	2.5	-2.8	-5.3	21.4	-12.1	9.5	-6.8	18.5		3.1
Supply	12.3	12.3	12.3	12.3	12.3	12.3	12.3	12.3		12.3
Demand	16.0	6.2	4.3	17.0	-3.3	8.9	3.3	34.2		10.5
Revenue	15.1	9.1	6.4	36.3	-1.3	22.9	4.7	33.0		15.7

2024 © CoStar Group. This STR Report is a publication of STR, LLC and STR Global, Ltd., CoStar Group companies, and is intended solely for use by paid subscribers. The information in the STR Report is provided on an "as is" and "as available" basis and should not be construed as investment, tax, accounting or legal advice. Reproduction or distribution of this STR Report, in whole or part, without written permission is prohibited and subject to legal action. If you have received this report and are NOT a subscriber to this STR Report, please contact us immediately. Source: 2024 STR, LLC / STR Global, Ltd. trading as "STR".

Tab 5 - Twelve Month Moving Average

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Occupancy (%)												
	January	February	March	April	May	June	July	August	September	October	November	December
2017	70.7	70.3	68.8	67.2	67.3	67.9	67.9	68.3	69.0	68.8	68.9	68.7
2018	69.1	69.4	69.8	70.6	71.1	71.5	71.5	71.6	71.9	73.3	73.0	72.9
2019	72.8	73.1	73.1	72.7	71.9	71.7	72.2	72.6	73.1	73.2	74.3	75.3
2020	76.1	76.2	74.3	70.8	68.3	66.4	64.7	63.0	62.4	60.1	58.0	56.5
2021	55.1	53.9	54.8	57.5	59.5	60.3	60.4	60.6	59.6	62.0	63.1	63.3
2022	63.7	64.2	64.5	64.7	64.4	64.6	65.3	65.1	65.6	63.8	63.6	63.4
2023	63.0	63.1	63.3	63.3	64.3	65.1	65.3	65.6	65.1	64.6	63.6	63.2
2024	63.3	63.0	62.6	62.8	62.0	62.0	61.6	62.8				

ADR (\$)												
	January	February	March	April	May	June	July	August	September	October	November	December
2017	90.83	91.01	90.92	90.73	90.74	90.80	91.18	91.36	91.68	92.06	92.33	92.55
2018	92.84	93.04	93.38	93.90	94.27	95.18	95.60	96.41	97.32	98.26	98.67	98.93
2019	98.95	99.07	99.40	99.69	99.98	100.10	100.25	100.14	100.02	100.18	100.41	100.52
2020	100.92	101.28	101.36	100.93	100.09	98.64	97.42	96.32	95.57	94.32	93.26	92.53
2021	91.34	90.13	89.36	89.57	90.52	92.01	93.30	94.39	95.58	97.45	98.35	99.08
2022	99.76	100.46	101.41	102.14	102.59	103.02	103.34	103.58	103.22	102.16	101.77	101.75
2023	101.79	102.01	102.21	102.66	103.00	102.32	102.72	103.40	103.85	104.70	105.22	105.19
2024	105.06	105.26	105.43	107.04	107.24	108.51	108.65	108.63				

RevPAR (\$)												
	January	February	March	April	May	June	July	August	September	October	November	December
2017	64.23	63.95	62.52	60.95	61.06	61.64	61.91	62.36	63.28	63.37	63.58	63.58
2018	64.14	64.53	65.21	66.25	67.06	68.09	68.33	69.05	70.00	72.02	72.07	72.15
2019	72.00	72.40	72.67	72.43	71.93	71.73	72.35	72.74	73.07	73.37	74.64	75.74
2020	76.82	77.18	75.30	71.51	68.35	65.47	62.99	60.71	59.62	56.68	54.05	52.25
2021	50.28	48.54	48.95	51.48	53.83	55.47	56.39	57.16	56.98	60.45	62.04	62.76
2022	63.57	64.45	65.42	66.10	66.11	66.56	67.47	67.45	67.66	65.13	64.76	64.46
2023	64.17	64.41	64.67	64.95	66.20	66.62	67.03	67.85	67.64	67.66	66.88	66.51
2024	66.45	66.27	65.98	67.25	66.53	67.27	66.92	68.24				

Supply												
	January	February	March	April	May	June	July	August	September	October	November	December
2017	254,645	254,589	254,527	254,467	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405
2018	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405
2019	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405
2020	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405	254,405
2021	254,405	254,405	254,405	254,405	254,405	257,705	261,115	264,525	267,825	271,235	274,535	277,945
2022	281,355	284,435	287,845	291,145	294,555	294,555	294,555	294,555	294,555	294,555	294,555	294,555
2023	294,555	294,555	294,555	294,555	294,555	294,555	294,555	294,555	297,525	300,594	303,564	306,633
2024	309,702	312,474	315,543	318,513	321,582	324,552	327,621	330,690				

Demand												
	January	February	March	April	May	June	July	August	September	October	November	December
2017	180,060	178,886	175,013	170,954	171,180	172,717	172,746	173,641	175,601	175,119	175,186	174,757
2018	175,775	176,460	177,648	179,497	180,974	181,999	181,822	182,216	182,984	186,470	185,815	185,533
2019	185,119	185,920	185,996	184,831	183,032	182,297	183,607	184,812	185,875	186,331	189,119	191,677
2020	193,666	193,871	188,999	180,241	173,741	168,842	164,505	160,339	158,723	152,892	147,438	143,672
2021	140,050	137,011	139,366	146,220	151,282	155,369	157,831	160,182	159,668	168,248	173,176	176,052
2022	179,293	182,491	185,690	188,409	189,816	190,294	192,311	191,818	193,086	187,785	187,440	186,605
2023	185,713	185,989	186,356	186,356	189,312	191,785	192,208	193,281	193,792	194,242	192,949	193,879
2024	195,895	196,738	197,451	200,104	199,505	201,198	201,794	207,739				

Revenue (\$)												
	January	February	March	April	May	June	July	August	September	October	November	December
2017	16,355,403	16,280,194	15,912,319	15,509,920	15,533,023	15,682,584	15,750,497	15,864,519	16,099,619	16,121,732	16,175,234	16,174,165
2018	16,318,091	16,417,392	16,589,398	16,854,565	17,059,893	17,323,447	17,382,275	17,566,715	17,807,266	18,323,241	18,334,172	18,354,359
2019	18,318,254	18,418,534	18,488,754	18,425,433	18,299,551	18,248,410	18,407,367	18,506,329	18,590,400	18,666,286	18,989,196	19,267,476
2020	19,543,857	19,636,027	19,157,474	18,192,229	17,388,989	16,655,317	16,025,664	15,444,116	15,168,714	14,420,831	13,750,255	13,293,877
2021	12,792,155	12,348,707	12,453,810	13,096,584	13,694,364	14,294,886	14,725,068	15,120,149	15,261,548	16,395,996	17,032,348	17,443,104

2022	17,886,473	18,332,795	18,830,071	19,244,651	19,472,666	19,604,513	19,873,411	19,868,157	19,930,863	19,184,006	19,076,381	18,987,398
2023	18,903,062	18,973,263	19,047,961	19,130,467	19,498,951	19,624,154	19,743,559	19,984,973	20,125,405	20,336,882	20,301,302	20,393,656
2024	20,580,721	20,708,669	20,817,985	21,418,476	21,393,942	21,832,670	21,925,587	22,565,671				

High value is boxed.

Low value is boxed and italicized.

2024 © CoStar Group. This STR Report is a publication of STR, LLC and STR Global, Ltd., CoStar Group companies, and is intended solely for use by paid subscribers. The information in the STR Report is provided on an "as is" and "as available" basis and should not be construed as investment, tax, accounting or legal advice. Reproduction or distribution of this STR Report, in whole or part, without written permission is prohibited and subject to legal action. If you have received this report and are NOT a subscriber to this STR Report, please contact us immediately. Source: 2024 STR, LLC / STR Global, Ltd. trading as "STR".

ADDENDUM B (CONTINUED)

Tab 6 - Twelve Month Moving Average with Percent Change

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue	
	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg
Jan 17	70.7		90.83		64.23		254,645		180,060		16,355,403	
Feb 17	70.3		91.01		63.95		254,589		178,886		16,280,194	
Mar 17	68.8		90.92		62.52		254,527		175,013		15,912,319	
Apr 17	67.2		90.73		60.95		254,467		170,954		15,509,920	
May 17	67.3		90.74		61.06		254,405		171,180		15,533,023	
Jun 17	67.9		90.80		61.64		254,405		172,717		15,682,584	
Jul 17	67.9		91.18		61.91		254,405		172,746		15,750,497	
Aug 17	68.3		91.36		62.36		254,405		173,641		15,864,519	
Sep 17	69.0		91.68		63.28		254,405		175,601		16,099,619	
Oct 17	68.8		92.06		63.37		254,405		175,119		16,121,732	
Nov 17	68.9		92.33		63.58		254,405		175,186		16,175,234	
Dec 17	68.7	-3.6	92.55	2.2	63.58	-1.5	254,405	-0.1	174,757	-3.7	16,174,165	-1.6
Jan 18	69.1	-2.3	92.84	2.2	64.14	-0.1	254,405	-0.1	175,775	-2.4	16,318,091	-0.2
Feb 18	69.4	-1.3	93.04	2.2	64.53	0.9	254,405	-0.1	176,460	-1.4	16,417,392	0.8
Mar 18	69.8	1.6	93.38	2.7	65.21	4.3	254,405	-0.0	177,648	1.5	16,589,398	4.3
Apr 18	70.6	5.0	93.90	3.5	66.25	8.7	254,405	-0.0	179,497	5.0	16,854,565	8.7
May 18	71.1	5.7	94.27	3.9	67.06	9.8	254,405	0.0	180,974	5.7	17,059,893	9.8
Jun 18	71.5	5.4	95.18	4.8	68.09	10.5	254,405	0.0	181,999	5.4	17,323,447	10.5
Jul 18	71.5	5.3	95.60	4.9	68.33	10.4	254,405	0.0	181,822	5.3	17,382,275	10.4
Aug 18	71.6	4.9	96.41	5.5	69.05	10.7	254,405	0.0	182,216	4.9	17,566,715	10.7
Sep 18	71.9	4.2	97.32	6.1	70.00	10.6	254,405	0.0	182,984	4.2	17,807,266	10.6
Oct 18	73.3	6.5	98.26	6.7	72.02	13.7	254,405	0.0	186,470	6.5	18,323,241	13.7
Nov 18	73.0	6.1	98.67	6.9	72.07	13.3	254,405	0.0	185,815	6.1	18,334,172	13.3
Dec 18	72.9	6.2	98.93	6.9	72.15	13.5	254,405	0.0	185,533	6.2	18,354,359	13.5
Jan 19	72.8	5.3	98.95	6.6	72.00	12.3	254,405	0.0	185,119	5.3	18,318,254	12.3
Feb 19	73.1	5.4	99.07	6.5	72.40	12.2	254,405	0.0	185,920	5.4	18,418,534	12.2
Mar 19	73.1	4.7	99.40	6.4	72.67	11.4	254,405	0.0	185,996	4.7	18,488,754	11.4
Apr 19	72.7	3.0	99.69	6.2	72.43	9.3	254,405	0.0	184,831	3.0	18,425,433	9.3
May 19	71.9	1.1	99.98	6.1	71.93	7.3	254,405	0.0	183,032	1.1	18,299,551	7.3
Jun 19	71.7	0.2	100.10	5.2	71.73	5.3	254,405	0.0	182,297	0.2	18,248,410	5.3
Jul 19	72.2	1.0	100.25	4.9	72.35	5.9	254,405	0.0	183,607	1.0	18,407,367	5.9
Aug 19	72.6	1.4	100.14	3.9	72.74	5.3	254,405	0.0	184,812	1.4	18,506,329	5.3
Sep 19	73.1	1.6	100.02	2.8	73.07	4.4	254,405	0.0	185,875	1.6	18,590,400	4.4
Oct 19	73.2	-0.1	100.18	1.9	73.37	1.9	254,405	0.0	186,331	-0.1	18,666,286	1.9
Nov 19	74.3	1.8	100.41	1.8	74.64	3.6	254,405	0.0	189,119	1.8	18,989,196	3.6
Dec 19	75.3	3.3	100.52	1.6	75.74	5.0	254,405	0.0	191,677	3.3	19,267,476	5.0
Jan 20	76.1	4.6	100.92	2.0	76.82	6.7	254,405	0.0	193,666	4.6	19,543,857	6.7
Feb 20	76.2	4.3	101.28	2.2	77.18	6.6	254,405	0.0	193,871	4.3	19,636,027	6.6
Mar 20	74.3	1.6	101.36	2.0	75.30	3.6	254,405	0.0	188,999	1.6	19,157,474	3.6
Apr 20	70.8	-2.5	100.93	1.2	71.51	-1.3	254,405	0.0	180,241	-2.5	18,192,229	-1.3
May 20	68.3	-5.1	100.09	0.1	68.35	-5.0	254,405	0.0	173,741	-5.1	17,388,989	-5.0
Jun 20	66.4	-7.4	98.64	-1.5	65.47	-8.7	254,405	0.0	168,842	-7.4	16,655,317	-8.7
Jul 20	64.7	-10.4	97.42	-2.8	62.99	-12.9	254,405	0.0	164,505	-10.4	16,025,664	-12.9
Aug 20	63.0	-13.2	96.32	-3.8	60.71	-16.5	254,405	0.0	160,339	-13.2	15,444,116	-16.5

Tab 6 - Twelve Month Moving Average with Percent Change

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue	
	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg
Sep 20	62.4	-14.6	95.57	-4.4	59.62	-18.4	254,405	0.0	158,723	-14.6	15,168,714	-18.4
Oct 20	60.1	-17.9	94.32	-5.8	56.68	-22.7	254,405	0.0	152,892	-17.9	14,420,831	-22.7
Nov 20	58.0	-22.0	93.26	-7.1	54.05	-27.6	254,405	0.0	147,438	-22.0	13,750,255	-27.6
Dec 20	56.5	-25.0	92.53	-7.9	52.25	-31.0	254,405	0.0	143,672	-25.0	13,293,877	-31.0
Jan 21	55.1	-27.7	91.34	-9.5	50.28	-34.5	254,405	0.0	140,050	-27.7	12,792,155	-34.5
Feb 21	53.9	-29.3	90.13	-11.0	48.54	-37.1	254,405	0.0	137,011	-29.3	12,348,707	-37.1
Mar 21	54.8	-26.3	89.36	-11.8	48.95	-35.0	254,405	0.0	139,366	-26.3	12,453,810	-35.0
Apr 21	57.5	-18.9	89.57	-11.3	51.48	-28.0	254,405	0.0	146,220	-18.9	13,096,584	-28.0
May 21	59.5	-12.9	90.52	-9.6	53.83	-21.2	254,405	0.0	151,282	-12.9	13,694,364	-21.2
Jun 21	60.3	-9.2	92.01	-6.7	55.47	-15.3	257,705	1.3	155,369	-8.0	14,294,886	-14.2
Jul 21	60.4	-6.5	93.30	-4.2	56.39	-10.5	261,115	2.6	157,831	-4.1	14,725,068	-8.1
Aug 21	60.6	-3.9	94.39	-2.0	57.16	-5.8	264,525	4.0	160,182	-0.1	15,120,149	-2.1
Sep 21	59.6	-4.4	95.58	0.0	56.98	-4.4	267,825	5.3	159,668	0.6	15,261,548	0.6
Oct 21	62.0	3.2	97.45	3.3	60.45	6.6	271,235	6.6	168,248	10.0	16,395,996	13.7
Nov 21	63.1	8.8	98.35	5.5	62.04	14.8	274,535	7.9	173,176	17.5	17,032,348	23.9
Dec 21	63.3	12.2	99.08	7.1	62.76	20.1	277,945	9.3	176,052	22.5	17,443,104	31.2
Jan 22	63.7	15.8	99.76	9.2	63.57	26.4	281,355	10.6	179,293	28.0	17,886,473	39.8
Feb 22	64.2	19.1	100.46	11.5	64.45	32.8	284,435	11.8	182,491	33.2	18,332,795	48.5
Mar 22	64.5	17.8	101.41	13.5	65.42	33.6	287,845	13.1	185,690	33.2	18,830,071	51.2
Apr 22	64.7	12.6	102.14	14.0	66.10	28.4	291,145	14.4	188,409	28.9	19,244,651	46.9
May 22	64.4	8.4	102.59	13.3	66.11	22.8	294,555	15.8	189,816	25.5	19,472,666	42.2
Jun 22	64.6	7.2	103.02	12.0	66.56	20.0	294,555	14.3	190,294	22.5	19,604,513	37.1
Jul 22	65.3	8.0	103.34	10.8	67.47	19.6	294,555	12.8	192,311	21.8	19,873,411	35.0
Aug 22	65.1	7.5	103.58	9.7	67.45	18.0	294,555	11.4	191,818	19.8	19,868,157	31.4
Sep 22	65.6	10.0	103.22	8.0	67.66	18.7	294,555	10.0	193,086	20.9	19,930,863	30.6
Oct 22	63.8	2.8	102.16	4.8	65.13	7.7	294,555	8.6	187,785	11.6	19,184,006	17.0
Nov 22	63.6	0.9	101.77	3.5	64.76	4.4	294,555	7.3	187,440	8.2	19,076,381	12.0
Dec 22	63.4	0.0	101.75	2.7	64.46	2.7	294,555	6.0	186,605	6.0	18,987,398	8.9
Jan 23	63.0	-1.1	101.79	2.0	64.17	0.9	294,555	4.7	185,713	3.6	18,903,062	5.7
Feb 23	63.1	-1.6	102.01	1.5	64.41	-0.1	294,555	3.6	185,989	1.9	18,973,263	3.5
Mar 23	63.3	-1.9	102.21	0.8	64.67	-1.1	294,555	2.3	186,356	0.4	19,047,961	1.2
Apr 23	63.3	-2.2	102.66	0.5	64.95	-1.7	294,555	1.2	186,356	-1.1	19,130,467	-0.6
May 23	64.3	-0.3	103.00	0.4	66.20	0.1	294,555	0.0	189,312	-0.3	19,498,951	0.1
Jun 23	65.1	0.8	102.32	-0.7	66.62	0.1	294,555	0.0	191,785	0.8	19,624,154	0.1
Jul 23	65.3	-0.1	102.72	-0.6	67.03	-0.7	294,555	0.0	192,208	-0.1	19,743,559	-0.7
Aug 23	65.6	0.8	103.40	-0.2	67.85	0.6	294,555	0.0	193,281	0.8	19,984,973	0.6
Sep 23	65.1	-0.6	103.85	0.6	67.64	-0.0	297,525	1.0	193,792	0.4	20,125,405	1.0
Oct 23	64.6	1.4	104.70	2.5	67.66	3.9	300,594	2.1	194,242	3.4	20,336,882	6.0
Nov 23	63.6	-0.1	105.22	3.4	66.88	3.3	303,564	3.1	192,949	2.9	20,301,302	6.4
Dec 23	63.2	-0.2	105.19	3.4	66.51	3.2	306,633	4.1	193,879	3.9	20,393,656	7.4
Jan 24	63.3	0.3	105.06	3.2	66.45	3.6	309,702	5.1	195,895	5.5	20,580,721	8.9
Feb 24	63.0	-0.3	105.26	3.2	66.27	2.9	312,474	6.1	196,738	5.8	20,708,669	9.1
Mar 24	62.6	-1.1	105.43	3.2	65.98	2.0	315,543	7.1	197,451	6.0	20,817,985	9.3
Apr 24	62.8	-0.7	107.04	4.3	67.25	3.5	318,513	8.1	200,104	7.4	21,418,476	12.0
May 24	62.0	-3.5	107.24	4.1	66.53	0.5	321,582	9.2	199,505	5.4	21,393,942	9.7

Tab 6 - Twelve Month Moving Average with Percent Change

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue	
	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg
Jun 24	62.0	-4.8	108.51	6.0	67.27	1.0	324,552	10.2	201,198	4.9	21,832,670	11.3
Jul 24	61.6	-5.6	108.65	5.8	66.92	-0.2	327,621	11.2	201,794	5.0	21,925,587	11.1
Aug 24	62.8	-4.3	108.63	5.1	68.24	0.6	330,690	12.3	207,739	7.5	22,565,671	12.9

2024 © CoStar Group. This STR Report is a publication of STR, LLC and STR Global, Ltd., CoStar Group companies, and is intended solely for use by paid subscribers. The information in the STR Report is provided on an "as is" and "as available" basis and should not be construed as investment, tax, accounting or legal advice. Reproduction or distribution of this STR Report, in whole or part, without written permission is prohibited and subject to legal action. If you have received this report and are NOT a subscriber to this STR Report, please contact us immediately. Source: 2024 STR, LLC / STR Global, Ltd. trading as "STR".

Tab 7 - Day of Week Analysis

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Occupancy (%)								Total Month
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Sep - 23	46.0	61.8	73.6	74.4	65.9	66.4	68.6	65.4
Oct - 23	41.2	62.5	69.3	70.4	65.4	69.5	66.9	63.0
Nov - 23	35.2	57.0	60.7	61.3	52.1	49.2	47.4	52.2
Dec - 23	37.6	50.8	53.9	53.0	44.9	41.6	41.9	45.7
Jan - 24	37.8	51.1	58.6	60.7	53.1	48.4	50.6	52.0
Feb - 24	37.0	64.8	72.1	65.1	57.6	51.4	53.2	57.3
Mar - 24	43.7	68.6	74.7	73.1	59.8	57.9	56.9	61.2
Apr - 24	53.5	73.4	75.2	76.4	68.1	59.0	60.6	67.1
May - 24	43.0	60.3	72.6	70.1	59.8	60.9	71.7	62.7
Jun - 24	51.6	81.2	84.6	85.5	76.8	78.4	82.7	76.6
Jul - 24	46.9	70.7	78.4	76.6	66.9	63.0	63.4	67.4
Aug - 24	63.5	87.2	91.2	92.7	85.2	80.9	81.1	83.0
Total Year	44.7	65.7	71.9	71.3	63.0	60.7	62.5	62.8

Three Year Occupancy (%)								Total Year
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Sep 21 - Aug 22	46.2	66.1	72.9	72.0	65.3	65.3	68.0	65.1
Sep 22 - Aug 23	43.8	67.7	75.4	75.7	66.8	63.0	66.9	65.6
Sep 23 - Aug 24	44.7	65.7	71.9	71.3	63.0	60.7	62.5	62.8
Total 3 Yr	44.9	66.5	73.4	72.9	65.0	62.9	65.7	64.5

ADR								Total Month
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Sep - 23	101.08	107.06	109.12	110.41	106.61	108.22	107.40	107.51
Oct - 23	104.56	110.20	113.08	113.54	106.00	107.86	109.71	109.64
Nov - 23	99.71	106.40	109.41	108.72	102.51	100.40	100.60	104.62
Dec - 23	92.96	102.68	103.55	102.53	94.62	93.64	93.81	97.84
Jan - 24	93.56	99.41	102.60	101.90	96.42	93.66	92.12	97.91
Feb - 24	98.49	107.75	113.39	112.87	100.99	99.67	99.14	105.43
Mar - 24	100.13	110.30	113.81	113.28	102.91	100.24	100.76	106.24
Apr - 24	160.29	139.07	117.32	116.90	108.70	108.14	116.90	123.50
May - 24	101.77	110.57	112.64	113.44	105.10	103.39	110.28	108.61
Jun - 24	103.92	114.75	115.43	113.61	109.30	114.39	116.97	113.09
Jul - 24	98.65	111.65	113.30	114.16	109.82	110.20	107.40	110.33
Aug - 24	99.34	114.02	116.85	115.51	109.85	107.75	107.90	110.55
Total Year	105.36	112.40	112.23	111.77	105.14	104.87	106.52	108.63

Three Year ADR								Total Year
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Sep 21 - Aug 22	98.05	104.83	106.97	105.99	102.14	101.80	102.97	103.58
Sep 22 - Aug 23	97.53	104.97	106.80	106.51	101.08	101.09	102.82	103.40
Sep 23 - Aug 24	105.36	112.40	112.23	111.77	105.14	104.87	106.52	108.63
Total 3 Yr	100.50	107.56	108.77	108.18	102.82	102.65	104.15	105.29

RevPAR								Total Month
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Sep - 23	46.47	66.14	80.31	82.15	70.22	71.90	73.66	70.30
Oct - 23	43.11	68.92	78.37	79.96	69.31	74.92	73.38	69.11
Nov - 23	35.12	60.68	66.45	66.60	53.43	49.39	47.66	54.58
Dec - 23	34.95	52.19	55.81	54.38	42.50	38.93	39.27	44.69
Jan - 24	35.38	50.81	60.16	61.87	51.18	45.36	46.60	50.91
Feb - 24	36.41	69.81	81.70	73.44	58.19	51.26	52.74	60.43
Mar - 24	43.74	75.62	85.03	82.76	61.54	58.03	57.33	65.01
Apr - 24	85.81	102.05	88.24	89.29	74.07	63.78	70.83	82.89
May - 24	43.76	66.68	81.75	79.49	62.87	62.94	79.12	68.12
Jun - 24	53.63	93.18	97.66	97.16	83.89	89.63	96.71	86.59
Jul - 24	46.26	78.95	88.87	87.45	73.43	69.42	68.13	74.37
Aug - 24	63.12	99.47	106.53	107.09	93.55	87.12	87.55	91.81
Total Year	47.08	73.83	80.75	79.67	66.27	63.61	66.57	68.24

Three Year RevPAR								Total Year
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Sep 21 - Aug 22	45.25	69.28	77.95	76.26	66.73	66.45	70.07	67.45
Sep 22 - Aug 23	42.69	71.10	80.55	80.61	67.56	63.64	68.80	67.85
Sep 23 - Aug 24	47.08	73.83	80.75	79.67	66.27	63.61	66.57	68.24
Total 3 Yr	45.09	71.50	79.79	78.86	66.84	64.52	68.39	67.86

ADDENDUM B (CONTINUED)

Tab 8 - Raw Data

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue		Census & Sample %		
	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	Census Props	Census Rooms	% Rooms STAR Participants
Jan 16	58.6		85.67		50.22		21,669		12,703		1,088,254		7	699	100.0
Feb 16	65.1		87.52		56.99		19,572		12,745		1,115,402		7	699	100.0
Mar 16	83.2		91.15		75.85		21,669		18,033		1,643,671		7	699	100.0
Apr 16	86.5		92.47		80.03		20,970		18,149		1,678,267		7	699	100.0
May 16	71.0		93.87		66.65		21,669		15,386		1,444,223		7	699	100.0
Jun 16	72.5		94.30		68.34		20,910		15,153		1,428,967		7	697	100.0
Jul 16	76.9		91.59		70.41		21,607		16,609		1,521,270		7	697	100.0
Aug 16	74.6		92.51		69.02		21,607		16,120		1,491,244		7	697	100.0
Sep 16	68.5		89.44		61.30		20,910		14,332		1,281,822		7	697	100.0
Oct 16	75.6		90.29		68.30		21,607		16,345		1,475,742		7	697	100.0
Nov 16	67.6		90.04		60.91		20,910		14,144		1,273,536		7	697	100.0
Dec 16	54.5		84.91		46.28		21,607		11,776		999,938		7	697	100.0
Jan 17	52.1	-11.0	88.86	3.7	46.34	-7.7	21,607	-0.3	11,268	-11.3	1,001,321	-8.0	7	697	100.0
Feb 17	59.3	-9.0	89.90	2.7	53.30	-6.5	19,516	-0.3	11,571	-9.2	1,040,193	-6.7	7	697	100.0
Mar 17	65.5	-21.3	90.10	-1.2	59.05	-22.2	21,607	-0.3	14,160	-21.5	1,275,796	-22.4	7	697	100.0
Apr 17	67.4	-22.1	90.55	-2.1	61.02	-23.8	20,910	-0.3	14,090	-22.4	1,275,868	-24.0	7	697	100.0
May 17	72.3	1.8	93.99	0.1	67.91	1.9	21,607	-0.3	15,612	1.5	1,467,326	1.6	7	697	100.0
Jun 17	79.8	10.1	94.58	0.3	75.49	10.5	20,910	0.0	16,690	10.1	1,578,528	10.5	7	697	100.0
Jul 17	77.0	0.2	95.52	4.3	73.55	4.5	21,607	0.0	16,638	0.2	1,589,183	4.5	7	697	100.0
Aug 17	78.7	5.6	94.34	2.0	74.29	7.6	21,607	0.0	17,015	5.6	1,605,266	7.6	7	697	100.0
Sep 17	77.9	13.7	93.11	4.1	72.55	18.3	20,910	0.0	16,292	13.7	1,516,922	18.3	7	697	100.0
Oct 17	73.4	-2.9	94.42	4.6	69.32	1.5	21,607	0.0	15,863	-2.9	1,497,855	1.5	7	697	100.0
Nov 17	68.0	0.5	93.38	3.7	63.46	4.2	20,910	0.0	14,211	0.5	1,327,038	4.2	7	697	100.0
Dec 17	52.5	-3.6	88.03	3.7	46.23	-0.1	21,607	0.0	11,347	-3.6	998,869	-0.1	7	697	100.0
Jan 18	56.9	9.0	93.22	4.9	53.00	14.4	21,607	0.0	12,286	9.0	1,145,247	14.4	7	697	100.0
Feb 18	62.8	5.9	92.97	3.4	58.39	9.5	19,516	0.0	12,256	5.9	1,139,494	9.5	7	697	100.0
Mar 18	71.0	8.4	94.33	4.7	67.01	13.5	21,607	0.0	15,348	8.4	1,447,802	13.5	7	697	100.0
Apr 18	76.2	13.1	96.68	6.8	73.70	20.8	20,910	0.0	15,939	13.1	1,541,035	20.8	7	697	100.0
May 18	79.1	9.5	97.88	4.1	77.41	14.0	21,607	0.0	17,089	9.5	1,672,654	14.0	7	697	100.0
Jun 18	84.7	6.1	103.98	9.9	88.10	16.7	20,910	0.0	17,715	6.1	1,842,082	16.7	7	697	100.0
Jul 18	76.2	-1.1	100.12	4.8	76.27	3.7	21,607	0.0	16,461	-1.1	1,648,011	3.7	7	697	100.0
Aug 18	80.6	2.3	102.80	9.0	82.83	11.5	21,607	0.0	17,409	2.3	1,789,706	11.5	7	697	100.0
Sep 18	81.6	4.7	103.02	10.6	84.05	15.9	20,910	0.0	17,060	4.7	1,757,473	15.9	7	697	100.0
Oct 18	89.5	22.0	104.08	10.2	93.20	34.4	21,607	0.0	19,349	22.0	2,013,830	34.4	7	697	100.0
Nov 18	64.8	-4.6	98.70	5.7	63.99	0.8	20,910	0.0	13,556	-4.6	1,337,969	0.8	7	697	100.0
Dec 18	51.2	-2.5	92.10	4.6	47.16	2.0	21,607	0.0	11,065	-2.5	1,019,056	2.0	7	697	100.0
Jan 19	54.9	-3.4	93.43	0.2	51.33	-3.2	21,607	0.0	11,872	-3.4	1,109,142	-3.2	7	697	100.0
Feb 19	66.9	6.5	94.95	2.1	63.53	8.8	19,516	0.0	13,057	6.5	1,239,774	8.8	7	697	100.0
Mar 19	71.4	0.5	98.42	4.3	70.26	4.9	21,607	0.0	15,424	0.5	1,518,022	4.9	7	697	100.0
Apr 19	70.7	-7.3	100.02	3.5	70.67	-4.1	20,910	0.0	14,774	-7.3	1,477,714	-4.1	7	697	100.0
May 19	70.8	-10.5	101.16	3.4	71.59	-7.5	21,607	0.0	15,290	-10.5	1,546,772	-7.5	7	697	100.0
Jun 19	81.2	-4.1	105.47	1.4	85.65	-2.8	20,910	0.0	16,980	-4.1	1,790,941	-2.8	7	697	100.0
Jul 19	82.2	8.0	101.68	1.6	83.63	9.6	21,607	0.0	17,771	8.0	1,806,968	9.6	7	697	100.0
Aug 19	86.1	6.9	101.46	-1.3	87.41	5.5	21,607	0.0	18,614	6.9	1,888,668	5.5	7	697	100.0
Sep 19	86.7	6.2	101.61	-1.4	88.07	4.8	20,910	0.0	18,123	6.2	1,841,544	4.8	7	697	100.0
Oct 19	91.7	2.4	105.51	1.4	96.71	3.8	21,607	0.0	19,805	2.4	2,089,716	3.8	7	697	100.0

Tab 8 - Raw Data

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue		Census & Sample %		
	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	Census Props	Census Rooms	% Rooms STAR Participants
Nov 19	78.2	20.6	101.62	3.0	79.43	24.1	20,910	0.0	16,344	20.6	1,660,879	24.1	7	697	100.0
Dec 19	63.0	23.1	95.23	3.4	60.04	27.3	21,607	0.0	13,623	23.1	1,297,336	27.3	7	697	100.0
Jan 20	64.2	16.8	99.96	7.0	64.12	24.9	21,607	0.0	13,861	16.8	1,385,523	24.9	7	697	100.0
Feb 20	68.0	1.6	100.43	5.8	68.25	7.4	19,516	0.0	13,262	1.6	1,331,944	7.4	7	697	100.0
Mar 20	48.8	-31.6	98.51	0.1	48.11	-31.5	21,607	0.0	10,552	-31.6	1,039,469	-31.5	7	697	100.0
Apr 20	28.8	-59.3	85.18	-14.8	24.51	-65.3	20,910	0.0	6,016	-59.3	512,469	-65.3	7	697	100.0
May 20	40.7	-42.5	84.59	-16.4	34.41	-51.9	21,607	0.0	8,790	-42.5	743,532	-51.9	7	697	100.0
Jun 20	57.8	-28.9	87.52	-17.0	50.56	-41.0	20,910	0.0	12,081	-28.9	1,057,269	-41.0	7	697	100.0
Jul 20	62.2	-24.4	87.64	-13.8	54.49	-34.8	21,607	0.0	13,434	-24.4	1,177,315	-34.8	7	697	100.0
Aug 20	66.9	-22.4	90.47	-10.8	60.50	-30.8	21,607	0.0	14,448	-22.4	1,307,120	-30.8	7	697	100.0
Sep 20	78.9	-8.9	94.88	-6.6	74.90	-15.0	20,910	0.0	16,507	-8.9	1,566,142	-15.0	7	697	100.0
Oct 20	64.7	-29.4	96.02	-9.0	62.10	-35.8	21,607	0.0	13,974	-29.4	1,341,833	-35.8	7	697	100.0
Nov 20	52.1	-33.4	90.94	-10.5	47.36	-40.4	20,910	0.0	10,890	-33.4	990,303	-40.4	7	697	100.0
Dec 20	45.6	-27.6	85.32	-10.4	38.92	-35.2	21,607	0.0	9,857	-27.6	840,958	-35.2	7	697	100.0
Jan 21	47.4	-26.1	86.32	-13.6	40.90	-36.2	21,607	0.0	10,239	-26.1	883,801	-36.2	7	697	100.0
Feb 21	52.4	-22.9	86.91	-13.5	45.53	-33.3	19,516	0.0	10,223	-22.9	888,496	-33.3	7	697	100.0
Mar 21	59.7	22.3	88.68	-10.0	52.97	10.1	21,607	0.0	12,907	22.3	1,144,572	10.1	7	697	100.0
Apr 21	61.5	113.9	89.76	5.4	55.25	125.4	20,910	0.0	12,870	113.9	1,155,243	125.4	7	697	100.0
May 21	64.1	57.6	96.83	14.5	62.08	80.4	21,607	0.0	13,852	57.6	1,341,312	80.4	7	697	100.0
Jun 21	66.8	15.6	102.54	17.2	68.48	35.4	24,210	15.8	16,168	33.8	1,657,791	56.8	8	807	100.0
Jul 21	63.5	2.2	101.13	15.4	64.26	17.9	25,017	15.8	15,896	18.3	1,607,497	36.5	8	807	100.0
Aug 21	67.2	0.4	101.33	12.0	68.04	12.5	25,017	15.8	16,799	16.3	1,702,201	30.2	8	807	100.0
Sep 21	66.1	-16.3	106.77	12.5	70.53	-5.8	24,210	15.8	15,993	-3.1	1,707,541	9.0	8	807	100.0
Oct 21	90.2	39.4	109.79	14.3	98.98	59.4	25,017	15.8	22,554	61.4	2,476,281	84.5	8	807	100.0
Nov 21	65.3	25.5	102.84	13.1	67.19	41.9	24,210	15.8	15,818	45.3	1,626,655	64.3	8	807	100.0
Dec 21	50.9	11.6	98.30	15.2	50.03	28.6	25,017	15.8	12,733	29.2	1,251,714	48.8	8	807	100.0
Jan 22	53.9	13.7	98.45	14.1	53.05	29.7	25,017	15.8	13,480	31.7	1,327,170	50.2	8	807	100.0
Feb 22	59.4	13.4	99.46	14.4	59.07	29.8	22,596	15.8	13,421	31.3	1,334,818	50.2	8	807	100.0
Mar 22	64.4	7.8	101.94	15.0	65.63	23.9	25,017	15.8	16,106	24.8	1,641,848	43.4	8	807	100.0
Apr 22	64.4	4.6	100.70	12.2	64.84	17.4	24,210	15.8	15,589	21.1	1,569,823	35.9	8	807	100.0
May 22	61.0	-4.9	102.85	6.2	62.73	1.1	25,017	15.8	15,259	10.2	1,569,327	17.0	8	807	100.0
Jun 22	68.8	3.0	107.51	4.9	73.92	8.0	24,210	0.0	16,646	3.0	1,789,638	8.0	8	807	100.0
Jul 22	71.6	12.7	104.75	3.6	75.00	16.7	25,017	0.0	17,913	12.7	1,876,395	16.7	8	807	100.0
Aug 22	65.2	-2.9	104.07	2.7	67.83	-0.3	25,017	0.0	16,306	-2.9	1,696,947	-0.3	8	807	100.0
Sep 22	71.3	7.9	102.56	-3.9	73.12	3.7	24,210	0.0	17,261	7.9	1,770,247	3.7	8	807	100.0
Oct 22	69.0	-23.5	100.24	-8.7	69.13	-30.2	25,017	0.0	17,253	-23.5	1,729,424	-30.2	8	807	100.0
Nov 22	63.9	-2.2	98.17	-4.5	62.74	-6.6	24,210	0.0	15,473	-2.2	1,519,030	-6.6	8	807	100.0
Dec 22	47.6	-6.6	97.72	-0.6	46.48	-7.1	25,017	0.0	11,898	-6.6	1,162,731	-7.1	8	807	100.0
Jan 23	50.3	-6.6	98.73	0.3	49.68	-6.4	25,017	0.0	12,588	-6.6	1,242,834	-6.4	8	807	100.0
Feb 23	60.6	2.1	102.58	3.1	62.18	5.3	22,596	0.0	13,697	2.1	1,405,019	5.3	8	807	100.0
Mar 23	65.8	2.3	104.20	2.2	68.62	4.5	25,017	0.0	16,473	2.3	1,716,546	4.5	8	807	100.0
Apr 23	64.4	0.0	105.99	5.3	68.25	5.3	24,210	0.0	15,589	0.0	1,652,329	5.3	8	807	100.0
May 23	72.8	19.4	106.39	3.4	77.46	23.5	25,017	0.0	18,215	19.4	1,937,811	23.5	8	807	100.0
Jun 23	79.0	14.9	100.15	-6.8	79.09	7.0	24,210	0.0	19,119	14.9	1,914,841	7.0	8	807	100.0
Jul 23	73.3	2.4	108.85	3.9	79.78	6.4	25,017	0.0	18,336	2.4	1,995,800	6.4	8	807	100.0
Aug 23	69.5	6.6	111.53	7.2	77.48	14.2	25,017	0.0	17,379	6.6	1,938,361	14.2	8	807	100.0
Sep 23	65.4	-8.3	107.51	4.8	70.30	-3.9	27,180	12.3	17,772	3.0	1,910,679	7.9	9	906	100.0
Oct 23	63.0	-8.6	109.64	9.4	69.11	-0.0	28,086	12.3	17,703	2.6	1,940,901	12.2	9	906	100.0

Tab 8 - Raw Data

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue		Census & Sample %		
	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	Census Props	Census Rooms	% Rooms STAR Participants
Nov 23	52.2	-18.4	104.62	6.6	54.58	-13.0	27,180	12.3	14,180	-8.4	1,483,450	-2.3	9	906	100.0
Dec 23	45.7	-4.0	97.84	0.1	44.69	-3.9	28,086	12.3	12,828	7.8	1,255,085	7.9	9	906	100.0
Jan 24	52.0	3.3	97.91	-0.8	50.91	2.5	28,086	12.3	14,604	16.0	1,429,899	15.1	9	906	100.0
Feb 24	57.3	-5.4	105.43	2.8	60.43	-2.8	25,368	12.3	14,540	6.2	1,532,967	9.1	9	906	100.0
Mar 24	61.2	-7.1	106.24	2.0	65.01	-5.3	28,086	12.3	17,186	4.3	1,825,862	6.4	9	906	100.0
Apr 24	67.1	4.2	123.50	16.5	82.89	21.4	27,180	12.3	18,242	17.0	2,252,820	36.3	9	906	100.0
May 24	62.7	-13.9	108.61	2.1	68.12	-12.1	28,086	12.3	17,616	-3.3	1,913,277	-1.3	9	906	100.0
Jun 24	76.6	-3.0	113.09	12.9	86.59	9.5	27,180	12.3	20,812	8.9	2,353,569	22.9	9	906	100.0
Jul 24	67.4	-8.0	110.33	1.4	74.37	-6.8	28,086	12.3	18,932	3.3	2,088,717	4.7	9	906	100.0
Aug 24	83.0	19.5	110.55	-0.9	91.81	18.5	28,086	12.3	23,324	34.2	2,578,445	33.0	9	906	100.0

2024 © CoStar Group. This STR Report is a publication of STR, LLC and STR Global, Ltd., CoStar Group companies, and is intended solely for use by paid subscribers. The information in the STR Report is provided on an "as is" and "as available" basis and should not be construed as investment, tax, accounting or legal advice. Reproduction or distribution of this STR Report, in whole or part, without written permission is prohibited and subject to legal action. If you have received this report and are NOT a subscriber to this STR Report, please contact us immediately. Source: 2024 STR, LLC / STR Global, Ltd. trading as "STR".

ADDENDUM B (CONTINUED)

Tab 9 - Classic

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue		Census & Sample %		
	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	Census Props	Census Rooms	% Rooms STAR Participants
Jan 16	58.6		85.67		50.22		21,669		12,703		1,088,254		7	699	100.0
Feb 16	65.1		87.52		56.99		19,572		12,745		1,115,402		7	699	100.0
Mar 16	83.2		91.15		75.85		21,669		18,033		1,643,671		7	699	100.0
Apr 16	86.5		92.47		80.03		20,970		18,149		1,678,267		7	699	100.0
May 16	71.0		93.87		66.65		21,669		15,386		1,444,223		7	699	100.0
Jun 16	72.5		94.30		68.34		20,910		15,153		1,428,967		7	697	100.0
Jul 16	76.9		91.59		70.41		21,607		16,609		1,521,270		7	697	100.0
Aug 16	74.6		92.51		69.02		21,607		16,120		1,491,244		7	697	100.0
Sep 16	68.5		89.44		61.30		20,910		14,332		1,281,822		7	697	100.0
Oct 16	75.6		90.29		68.30		21,607		16,345		1,475,742		7	697	100.0
Nov 16	67.6		90.04		60.91		20,910		14,144		1,273,536		7	697	100.0
Dec 16	54.5		84.91		46.28		21,607		11,776		999,938		7	697	100.0
Aug YTD 2016	73.6		91.36		67.25		169,673		124,898		11,411,298				
Total 2016	71.3		90.59		64.55		254,707		181,495		16,442,336				
Jan 17	52.1	-11.0	88.86	3.7	46.34	-7.7	21,607	-0.3	11,268	-11.3	1,001,321	-8.0	7	697	100.0
Feb 17	59.3	-9.0	89.90	2.7	53.30	-6.5	19,516	-0.3	11,571	-9.2	1,040,193	-6.7	7	697	100.0
Mar 17	65.5	-21.3	90.10	-1.2	59.05	-22.2	21,607	-0.3	14,160	-21.5	1,275,796	-22.4	7	697	100.0
Apr 17	67.4	-22.1	90.55	-2.1	61.02	-23.8	20,910	-0.3	14,090	-22.4	1,275,868	-24.0	7	697	100.0
May 17	72.3	1.8	93.99	0.1	67.91	1.9	21,607	-0.3	15,612	1.5	1,467,326	1.6	7	697	100.0
Jun 17	79.8	10.1	94.58	0.3	75.49	10.5	20,910	0.0	16,690	10.1	1,578,528	10.5	7	697	100.0
Jul 17	77.0	0.2	95.52	4.3	73.55	4.5	21,607	0.0	16,638	0.2	1,589,183	4.5	7	697	100.0
Aug 17	78.7	5.6	94.34	2.0	74.29	7.6	21,607	0.0	17,015	5.6	1,605,266	7.6	7	697	100.0
Sep 17	77.9	13.7	93.11	4.1	72.55	18.3	20,910	0.0	16,292	13.7	1,516,922	18.3	7	697	100.0
Oct 17	73.4	-2.9	94.42	4.6	69.32	1.5	21,607	0.0	15,863	-2.9	1,497,855	1.5	7	697	100.0
Nov 17	68.0	0.5	93.38	3.7	63.46	4.2	20,910	0.0	14,211	0.5	1,327,038	4.2	7	697	100.0
Dec 17	52.5	-3.6	88.03	3.7	46.23	-0.1	21,607	0.0	11,347	-3.6	998,869	-0.1	7	697	100.0
Aug YTD 2017	69.1	-6.1	92.56	1.3	63.96	-4.9	169,371	-0.2	117,044	-6.3	10,833,481	-5.1			
Total 2017	68.7	-3.6	92.55	2.2	63.58	-1.5	254,405	-0.1	174,757	-3.7	16,174,165	-1.6			
Jan 18	56.9	9.0	93.22	4.9	53.00	14.4	21,607	0.0	12,286	9.0	1,145,247	14.4	7	697	100.0
Feb 18	62.8	5.9	92.97	3.4	58.39	9.5	19,516	0.0	12,256	5.9	1,139,494	9.5	7	697	100.0
Mar 18	71.0	8.4	94.33	4.7	67.01	13.5	21,607	0.0	15,348	8.4	1,447,802	13.5	7	697	100.0
Apr 18	76.2	13.1	96.68	6.8	73.70	20.8	20,910	0.0	15,939	13.1	1,541,035	20.8	7	697	100.0
May 18	79.1	9.5	97.88	4.1	77.41	14.0	21,607	0.0	17,089	9.5	1,672,654	14.0	7	697	100.0
Jun 18	84.7	6.1	103.98	9.9	88.10	16.7	20,910	0.0	17,715	6.1	1,842,082	16.7	7	697	100.0
Jul 18	76.2	-1.1	100.12	4.8	76.27	3.7	21,607	0.0	16,461	-1.1	1,648,011	3.7	7	697	100.0
Aug 18	80.6	2.3	102.80	9.0	82.83	11.5	21,607	0.0	17,409	2.3	1,789,706	11.5	7	697	100.0
Sep 18	81.6	4.7	103.02	10.6	84.05	15.9	20,910	0.0	17,060	4.7	1,757,473	15.9	7	697	100.0
Oct 18	89.5	22.0	104.08	10.2	93.20	34.4	21,607	0.0	19,349	22.0	2,013,830	34.4	7	697	100.0
Nov 18	64.8	-4.6	98.70	5.7	63.99	0.8	20,910	0.0	13,556	-4.6	1,337,969	0.8	7	697	100.0
Dec 18	51.2	-2.5	92.10	4.6	47.16	2.0	21,607	0.0	11,065	-2.5	1,019,056	2.0	7	697	100.0
Aug YTD 2018	73.5	6.4	98.20	6.1	72.18	12.9	169,371	0.0	124,503	6.4	12,226,031	12.9			
Total 2018	72.9	6.2	98.93	6.9	72.15	13.5	254,405	0.0	185,533	6.2	18,354,359	13.5			
Jan 19	54.9	-3.4	93.43	0.2	51.33	-3.2	21,607	0.0	11,872	-3.4	1,109,142	-3.2	7	697	100.0
Feb 19	66.9	6.5	94.95	2.1	63.53	8.8	19,516	0.0	13,057	6.5	1,239,774	8.8	7	697	100.0
Mar 19	71.4	0.5	98.42	4.3	70.26	4.9	21,607	0.0	15,424	0.5	1,518,022	4.9	7	697	100.0
Apr 19	70.7	-7.3	100.02	3.5	70.67	-4.1	20,910	0.0	14,774	-7.3	1,477,714	-4.1	7	697	100.0
May 19	70.8	-10.5	101.16	3.4	71.59	-7.5	21,607	0.0	15,290	-10.5	1,546,772	-7.5	7	697	100.0
Jun 19	81.2	-4.1	105.47	1.4	85.65	-2.8	20,910	0.0	16,980	-4.1	1,790,941	-2.8	7	697	100.0
Jul 19	82.2	8.0	101.68	1.6	83.63	9.6	21,607	0.0	17,771	8.0	1,806,968	9.6	7	697	100.0
Aug 19	86.1	6.9	101.46	-1.3	87.41	5.5	21,607	0.0	18,614	6.9	1,888,668	5.5	7	697	100.0
Sep 19	86.7	6.2	101.61	-1.4	88.07	4.8	20,910	0.0	18,123	6.2	1,841,544	4.8	7	697	100.0

Tab 9 - Classic

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue		Census & Sample %		
	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	Census Props	Census Rooms	% Rooms STAR Participants
Oct 19	91.7	2.4	105.51	1.4	96.71	3.8	21,607	0.0	19,805	2.4	2,089,716	3.8	7	697	100.0
Nov 19	78.2	20.6	101.62	3.0	79.43	24.1	20,910	0.0	16,344	20.6	1,660,879	24.1	7	697	100.0
Dec 19	63.0	23.1	95.23	3.4	60.04	27.3	21,607	0.0	13,623	23.1	1,297,336	27.3	7	697	100.0
Aug YTD 2019	73.1	-0.6	100.00	1.8	73.08	1.2	169,371	0.0	123,782	-0.6	12,378,001	1.2			
Total 2019	75.3	3.3	100.52	1.6	75.74	5.0	254,405	0.0	191,677	3.3	19,267,476	5.0			
Jan 20	64.2	16.8	99.96	7.0	64.12	24.9	21,607	0.0	13,861	16.8	1,385,523	24.9	7	697	100.0
Feb 20	68.0	1.6	100.43	5.8	68.25	7.4	19,516	0.0	13,262	1.6	1,331,944	7.4	7	697	100.0
Mar 20	48.8	-31.6	98.51	0.1	48.11	-31.5	21,607	0.0	10,552	-31.6	1,039,469	-31.5	7	697	100.0
Apr 20	28.8	-59.3	85.18	-14.8	24.51	-65.3	20,910	0.0	6,016	-59.3	512,469	-65.3	7	697	100.0
May 20	40.7	-42.5	84.59	-16.4	34.41	-51.9	21,607	0.0	8,790	-42.5	743,532	-51.9	7	697	100.0
Jun 20	57.8	-28.9	87.52	-17.0	50.56	-41.0	20,910	0.0	12,081	-28.9	1,057,269	-41.0	7	697	100.0
Jul 20	62.2	-24.4	87.64	-13.8	54.49	-34.8	21,607	0.0	13,434	-24.4	1,177,315	-34.8	7	697	100.0
Aug 20	66.9	-22.4	90.47	-10.8	60.50	-30.8	21,607	0.0	14,448	-22.4	1,307,120	-30.8	7	697	100.0
Sep 20	78.9	-8.9	94.88	-6.6	74.90	-15.0	20,910	0.0	16,507	-8.9	1,566,142	-15.0	7	697	100.0
Oct 20	64.7	-29.4	96.02	-9.0	62.10	-35.8	21,607	0.0	13,974	-29.4	1,341,833	-35.8	7	697	100.0
Nov 20	52.1	-33.4	90.94	-10.5	47.36	-40.4	20,910	0.0	10,890	-33.4	990,303	-40.4	7	697	100.0
Dec 20	45.6	-27.6	85.32	-10.4	38.92	-35.2	21,607	0.0	9,857	-27.6	840,958	-35.2	7	697	100.0
Aug YTD 2020	54.6	-25.3	92.54	-7.5	50.51	-30.9	169,371	0.0	92,444	-25.3	8,554,641	-30.9			
Total 2020	56.5	-25.0	92.53	-7.9	52.25	-31.0	254,405	0.0	143,672	-25.0	13,293,877	-31.0			
Jan 21	47.4	-26.1	86.32	-13.6	40.90	-36.2	21,607	0.0	10,239	-26.1	883,801	-36.2	7	697	100.0
Feb 21	52.4	-22.9	86.91	-13.5	45.53	-33.3	19,516	0.0	10,223	-22.9	888,496	-33.3	7	697	100.0
Mar 21	59.7	22.3	88.68	-10.0	52.97	10.1	21,607	0.0	12,907	22.3	1,144,572	10.1	7	697	100.0
Apr 21	61.5	113.9	89.76	5.4	55.25	125.4	20,910	0.0	12,870	113.9	1,155,243	125.4	7	697	100.0
May 21	64.1	57.6	96.83	14.5	62.08	80.4	21,607	0.0	13,852	57.6	1,341,312	80.4	7	697	100.0
Jun 21	66.8	15.6	102.54	17.2	68.48	35.4	24,210	15.8	16,168	33.8	1,657,791	56.8	8	807	100.0
Jul 21	63.5	2.2	101.13	15.4	64.26	17.9	25,017	15.8	15,896	18.3	1,607,497	36.5	8	807	100.0
Aug 21	67.2	0.4	101.33	12.0	68.04	12.5	25,017	15.8	16,799	16.3	1,702,201	30.2	8	807	100.0
Sep 21	66.1	-16.3	106.77	12.5	70.53	-5.8	24,210	15.8	15,993	-3.1	1,707,541	9.0	8	807	100.0
Oct 21	90.2	39.4	109.79	14.3	98.98	59.4	25,017	15.8	22,554	61.4	2,476,281	84.5	8	807	100.0
Nov 21	65.3	25.5	102.84	13.1	67.19	41.9	24,210	15.8	15,818	45.3	1,626,655	64.3	8	807	100.0
Dec 21	50.9	11.6	98.30	15.2	50.03	28.6	25,017	15.8	12,733	29.2	1,251,714	48.8	8	807	100.0
Aug YTD 2021	60.7	11.2	95.28	3.0	57.84	14.5	179,491	6.0	108,954	17.9	10,380,913	21.3			
Total 2021	63.3	12.2	99.08	7.1	62.76	20.1	277,945	9.3	176,052	22.5	17,443,104	31.2			
Jan 22	53.9	13.7	98.45	14.1	53.05	29.7	25,017	15.8	13,480	31.7	1,327,170	50.2	8	807	100.0
Feb 22	59.4	13.4	99.46	14.4	59.07	29.8	22,596	15.8	13,421	31.3	1,334,818	50.2	8	807	100.0
Mar 22	64.4	7.8	101.94	15.0	65.63	23.9	25,017	15.8	16,106	24.8	1,641,848	43.4	8	807	100.0
Apr 22	64.4	4.6	100.70	12.2	64.84	17.4	24,210	15.8	15,589	21.1	1,569,823	35.9	8	807	100.0
May 22	61.0	-4.9	102.85	6.2	62.73	1.1	25,017	15.8	15,259	10.2	1,569,327	17.0	8	807	100.0
Jun 22	68.8	3.0	107.51	4.9	73.92	8.0	24,210	0.0	16,646	3.0	1,789,638	8.0	8	807	100.0
Jul 22	71.6	12.7	104.75	3.6	75.00	16.7	25,017	0.0	17,913	12.7	1,876,395	16.7	8	807	100.0
Aug 22	65.2	-2.9	104.07	2.7	67.83	-0.3	25,017	0.0	16,306	-2.9	1,696,947	-0.3	8	807	100.0
Sep 22	71.3	7.9	102.56	-3.9	73.12	3.7	24,210	0.0	17,261	7.9	1,770,247	3.7	8	807	100.0
Oct 22	69.0	-23.5	100.24	-8.7	69.13	-30.2	25,017	0.0	17,253	-23.5	1,729,424	-30.2	8	807	100.0
Nov 22	63.9	-2.2	98.17	-4.5	62.74	-6.6	24,210	0.0	15,473	-2.2	1,519,030	-6.6	8	807	100.0
Dec 22	47.6	-6.6	97.72	-0.6	46.48	-7.1	25,017	0.0	11,898	-6.6	1,162,731	-7.1	8	807	100.0
Aug YTD 2022	63.6	4.8	102.68	7.8	65.30	12.9	196,101	9.3	124,720	14.5	12,805,966	23.4			
Total 2022	63.4	0.0	101.75	2.7	64.46	2.7	294,555	6.0	186,605	6.0	18,987,398	8.9			
Jan 23	50.3	-6.6	98.73	0.3	49.68	-6.4	25,017	0.0	12,588	-6.6	1,242,834	-6.4	8	807	100.0
Feb 23	60.6	2.1	102.58	3.1	62.18	5.3	22,596	0.0	13,697	2.1	1,405,019	5.3	8	807	100.0
Mar 23	65.8	2.3	104.20	2.2	68.62	4.5	25,017	0.0	16,473	2.3	1,716,546	4.5	8	807	100.0
Apr 23	64.4	0.0	105.99	5.3	68.25	5.3	24,210	0.0	15,589	0.0	1,652,329	5.3	8	807	100.0
May 23	72.8	19.4	106.39	3.4	77.46	23.5	25,017	0.0	18,215	19.4	1,937,811	23.5	8	807	100.0
Jun 23	79.0	14.9	100.15	-6.8	79.09	7.0	24,210	0.0	19,119	14.9	1,914,841	7.0	8	807	100.0

Tab 9 - Classic

Custom Trend: Lima OH Market Set (USD) - 6 years (+2 additional years)

Job Number: 1530259_SADIM Staff: GS Created: October 14, 2024

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue		Census & Sample %		
	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	This Year	% Chg	Census Props	Census Rooms	% Rooms STAR Participants
Jul 23	73.3	2.4	108.85	3.9	79.78	6.4	25,017	0.0	18,336	2.4	1,995,800	6.4	8	807	100.0
Aug 23	69.5	6.6	111.53	7.2	77.48	14.2	25,017	0.0	17,379	6.6	1,938,361	14.2	8	807	100.0
Sep 23	65.4	-8.3	107.51	4.8	70.30	-3.9	27,180	12.3	17,772	3.0	1,910,679	7.9	9	906	100.0
Oct 23	63.0	-8.6	109.64	9.4	69.11	-0.0	28,086	12.3	17,703	2.6	1,940,901	12.2	9	906	100.0
Nov 23	52.2	-18.4	104.62	6.6	54.58	-13.0	27,180	12.3	14,180	-8.4	1,483,450	-2.3	9	906	100.0
Dec 23	45.7	-4.0	97.84	0.1	44.69	-3.9	28,086	12.3	12,828	7.8	1,255,085	7.9	9	906	100.0
Aug YTD 2023	67.0	5.4	105.05	2.3	70.39	7.8	196,101	0.0	131,396	5.4	13,803,541	7.8			
Total 2023	63.2	-0.2	105.19	3.4	66.51	3.2	306,633	4.1	193,879	3.9	20,393,656	7.4			
Jan 24	52.0	3.3	97.91	-0.8	50.91	2.5	28,086	12.3	14,604	16.0	1,429,899	15.1	9	906	100.0
Feb 24	57.3	-5.4	105.43	2.8	60.43	-2.8	25,368	12.3	14,540	6.2	1,532,967	9.1	9	906	100.0
Mar 24	61.2	-7.1	106.24	2.0	65.01	-5.3	28,086	12.3	17,186	4.3	1,825,862	6.4	9	906	100.0
Apr 24	67.1	4.2	123.50	16.5	82.89	21.4	27,180	12.3	18,242	17.0	2,252,820	36.3	9	906	100.0
May 24	62.7	-13.9	108.61	2.1	68.12	-12.1	28,086	12.3	17,616	-3.3	1,913,277	-1.3	9	906	100.0
Jun 24	76.6	-3.0	113.09	12.9	86.59	9.5	27,180	12.3	20,812	8.9	2,353,569	22.9	9	906	100.0
Jul 24	67.4	-8.0	110.33	1.4	74.37	-6.8	28,086	12.3	18,932	3.3	2,088,717	4.7	9	906	100.0
Aug 24	83.0	19.5	110.55	-0.9	91.81	18.5	28,086	12.3	23,324	34.2	2,578,445	33.0	9	906	100.0
Aug YTD 2024	66.0	-1.5	109.98	4.7	72.56	3.1	220,158	12.3	145,256	10.5	15,975,556	15.7			

2024 © CoStar Group. This STR Report is a publication of STR, LLC and STR Global, Ltd., CoStar Group companies, and is intended solely for use by paid subscribers. The information in the STR Report is provided on an "as is" and "as available" basis and should not be construed as investment, tax, accounting or legal advice. Reproduction or distribution of this STR Report, in whole or part, without written permission is prohibited and subject to legal action. If you have received this report and are NOT a subscriber to this STR Report, please contact us immediately. Source: 2024 STR, LLC / STR Global, Ltd. trading as "STR".

ADDENDUM B (CONTINUED)

Tab 11 - Terms and Conditions

Before purchasing this product you agreed to the following terms and conditions.

In consideration of the mutual promises contained herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, STR, Inc. ("STR"), STR Global, Ltd. ("STRG"), and the licensee identified elsewhere in this Agreement ("Licensee") agree as follows:

1. LICENSE

1.1 Definitions.

(a) "Agreement" means these Standard Terms and Conditions and any additional terms specifically set out in writing in the document(s) (if any) to which these Standard Terms and Conditions are attached or in which they are incorporated by reference, and, if applicable, any additional terms specifically set out in writing in any Schedule attached hereto.

(b) "Licensed Materials" means the newsletters, reports, databases or other information resources, and all lodging industry data contained therein, provided to Licensee hereunder.

1.2 Grant of License. Subject to the terms and conditions of this Agreement, and except as may be expressly permitted elsewhere in this Agreement, STR hereby grants to Licensee a non-exclusive, non-transferable, indivisible, non-sublicensable license to use, copy, manipulate and extract data from the Licensed Materials for its own INTERNAL business purposes only.

1.3 Copies. Except as expressly permitted elsewhere in this Agreement, Licensee may make and maintain no more than two (2) copies of any Licensed Materials.

1.4 No Service Bureau Use. Licensee is prohibited from using the Licensed Materials in any way in connection with any service bureau or similar services. "Service bureau" means the processing of input data that is supplied by one or more third parties and the generation of output data (in the form of reports, charts, graphs or other pictorial representations, or the like) that is sold or licensed to any third parties.

of the data and any manipulations of the data) available in any form whatsoever to any third party, other than Licensee's accountants, attorneys, marketing professionals or other professional advisors who are bound by a duty of confidentiality not to disclose such information.

1.6 Security. Licensee shall use commercially reasonable efforts to protect against unauthorized access to the Licensed Materials.

reserved to STR.

2. DISCLAIMERS AND LIMITATIONS OF LIABILITY

materials, the services provided or the results of use thereof. Without limiting the foregoing, STR does not warrant that the licensed materials, the services provided or the use thereof are or will be accurate, error-free or uninterrupted. STR makes no implied warranties, including without limitation, any implied warranty of merchantability, noninfringement or fitness for any particular purpose or arising by usage of trade, course of dealing, course of performance or otherwise.

2.2 Disclaimers. STR shall have no liability with respect to its obligations under this agreement or otherwise for consequential, exemplary, special, incidental, or punitive damages even if STR has been advised of the possibility of such damages. Furthermore, STR shall have no liability whatsoever for any claim relating in any way to any decision made or action taken by licensee in reliance upon the licensed materials.

2.3 Limitation of Liability. STR's total liability to licensee for any reason and upon any cause of action including without limitation, infringement, breach of contract, negligence, strict liability, misrepresentations, and other torts, shall be limited to all fees paid to STR by the licensee during the twelve month period preceding the date on which such cause of action first arose.

3. MISCELLANEOUS

3.1 Liquidated Damages. In the event of a violation of Section 1.5 of these Standard Terms and Conditions, Licensee shall be required to pay STR an amount equal to the sum of (i) the highest aggregate price that STR, in accordance with its then-current published prices, could have charged the unauthorized recipients for the Licensed Materials that are the subject of the violation, and (ii) the full price of the lowest level of republishing rights that Licensee would have been required to purchase from STR in order to have the right to make the unauthorized distribution, regardless of whether Licensee has previously paid for any lower level of republishing rights, and (iii) fifteen percent (15%) of the total of the previous two items. This provision shall survive indefinitely the expiration or termination of this Agreement for any reason.

copies of the Licensed Materials and all other information relating thereto in Licensee's possession or control as of the such date. This provision shall survive indefinitely the expiration or termination of this Agreement for any reason.

actions regarding or arising out of this Agreement shall be brought exclusively in a court of competent jurisdiction located in Nashville, Tennessee, and the parties expressly consent to personal jurisdiction thereof. The parties also expressly waive any objections to venue.

3.4 Assignment. Licensee is prohibited from assigning this Agreement or delegating any of its duties under this Agreement without the prior written consent of STR.

relationship.

the time of transmission (provided, however, that notice delivered by facsimile transmission shall only be effective if such notice is also delivered by hand or deposited in the United States mail, postage prepaid, registered, certified or express mail or by courier service within two (2) business days after its delivery by facsimile transmission); iii) when delivered by a courier service or by express mail, at the time of receipt; or iv) five (5) business days after being deposited in the United States mail, postage prepaid, registered or certified mail, addressed (in any such case) to the addresses listed on the first page of this Agreement or to such other address as either party may notify the other in writing.

3.7 Waiver. No waiver of any breach of this Agreement will be deemed to constitute a waiver of any subsequent breach of the same or any other provision.

3.8 Entire Agreement. This Agreement constitutes the entire agreement of the parties with respect to the matters described herein, superseding in all respects any and all prior proposals, negotiations, understandings and other agreements, oral or written, between the parties.

3.9 Amendment. This Agreement may be amended only by the written agreement of both parties.

provisions of this Agreement, the successful or prevailing party or parties shall be entitled to recover reasonable attorneys' fees and other costs incurred in that action or proceeding, in addition to any other relief to which it or they may be entitled.

3.11 Injunctive Relief. The parties agree that, in addition to any other rights or remedies which the other or STR may have, any party alleging breach or threatened breach of this Agreement will be entitled to such equitable and injunctive relief as may be available from any court of competent jurisdiction to restrain the other from breaching or threatening to breach any of the provisions of this Section, without posting bond or other surety.

3.12 Notice of Unauthorized Access. Licensee shall notify STR immediately upon Licensee's becoming aware of any facts indicating that a third party may have obtained or may be about to obtain unauthorized access to the Licensed Materials, and shall fully cooperate with STR in its efforts to mitigate the damages caused by any such breach or potential breach.

3.13 Conflicting Provisions. In the event that any provision of these Standard Terms and Conditions directly conflicts with any other provision of the Agreement, the conflicting terms of such other provision shall control.

3.14 Remedies. In addition to any other rights or remedies that STR may have, in the event of any termination by STR on account of a breach by Licensee, STR may, without refund, immediately terminate and discontinue any right of Licensee to receive additional Licensed Materials from STR.



How can we assist you?

Glossary:

For all STR definitions, please visit www.str.com/data-insights/resources/glossary

Frequently Asked Questions (FAQ):

For all STR FAQs, please click here or visit www.str.com/data-insights/resources/FAQ

For additional support, please [contact](#) your regional office.

For the latest in industry news, visit HotelNewsNow.com.

To learn more about the Hotel Data Conference, visit HotelDataConference.com.

ADDENDUM B (CONTINUED)

Competitive Properties Lima, Ohio

Hotel	Opened	No. of Rooms
Howard Johnson by Wyndham	Feb 1989	150
Fairfield Inn & Suites	Oct 1995	62
Hampton Inn	Aug 1997	98
Wyngate by Wyndham	Oct 1999	100
Country Inn & Suites	Jul 2007	72
Courtyard	Dec 2008	99
Holiday Inn & Suites	Oct 2009	116
TownePlace Suites	June 2021	110
Holiday Inn Express & Suites	Sept 2023	99
Total Rooms as of 2024		906
Home2 Suites	Mar 2025	86
Total Rooms as of 2025		992

Lima, Ohio Hotel Market Standard Historical Trend

YEAR	OCCUPANCY	ADR
2016	71.3	\$90.59
2017	68.7	\$92.55
2018	72.9	\$98.93
2019	75.3	\$100.52
2020	56.5	\$92.53
2021	63.3	\$99.08
2022	63.4	\$101.75
2023	63.2	\$105.19
YTD 8/31 2023	67.0	\$105.05
YTD 8/31 2024	66.0	\$109.98
Est 2024	63.0	\$110.00

Source: Smith Travel Research

Proposed Memorial Hall Hotel, Lima, Ohio

YEAR	OCCUPANCY	ADR(2)
2027 (1)	60%	\$160.00
2028	62	\$165.50
2029	64	\$171.50
2030	64	\$177.50
2031	64	\$183.50

1. Assumed ADR annual growth of 3.5 % per year

Source: Spencer Group

ADDENDUM B (CONTINUED)

STR Market Study Summary: The Case for a Boutique Hotel in Lima, OH

This report is a CoStar/STR Trend Report covering the **Lima, OH hotel market from January 2016 through August 2024**, tracking 9 properties and approximately 906 rooms.

1. The Existing Supply Is Entirely Mid-Scale and Below — With No Boutique Option

The current competitive set consists entirely of chain-affiliated, mid-range brands:

- Howard Johnson (Economy), Wingate by Wyndham (Midscale), Fairfield Inn & Suites, Hampton Inn, Country Inn & Suites, Holiday Inn & Suites, Courtyard by Marriott (Upscale), TownePlace Suites, and Holiday Inn Express & Suites.

There is no independent, lifestyle, or boutique hotel in the market. Every room in Lima belongs to a national chain in the Economy–Upper Midscale–Upscale range. A boutique hotel would occupy an entirely uncontested niche.

2. Revenue Has Grown Substantially and Consistently

Annual room revenue in the Lima market has grown from **\$16.4M in 2016 to \$20.4M in 2023**, a nearly **24% increase** over seven years, and 2024 is on track to surpass \$20M again. The 12-month moving average revenue as of August 2024 stands at **\$22.6M**, a new high for the market.

Year-over-year revenue growth has been positive in most years since the pandemic recovery, including **+7.4% in 2023** and a strong **+12.9% on a trailing 12-month basis through August 2024**.

3. ADR (Average Daily Rate) Has Climbed Steadily and Is at a Record High

Average daily rate has grown from **~\$90.59 in 2016 to \$105.19 in 2023**, and through August 2024 the trailing 12-month ADR is **\$108.63** — an all-time high for the market. This represents roughly **20% rate growth** over the period.

Critically, the market achieved its highest-ever ADR in August 2024 at **\$110.55**. A boutique hotel, which would likely command a premium rate well above the current market average, would benefit directly from a market that has already demonstrated consistent willingness to pay more.

ADDENDUM B (CONTINUED)

4. Demand Growth Is Outpacing Supply

Room demand in the Lima market grew from roughly **181,000 room nights in 2016 to 194,000 in 2023**, and through August 2024 demand is tracking strongly ahead of the prior year — up **+34.2% in August 2024 alone** (the single-month demand increase was the sharpest in the dataset). The 12-month moving average demand has reached **207,739 room nights** as of August 2024, another record.

Meanwhile, supply growth has been more measured. After the TownePlace Suites opened in mid-2021 and a Holiday Inn Express opened in September 2023, supply has grown — but demand is absorbing it and then some.

5. RevPAR Is at an All-Time High

Revenue Per Available Room (RevPAR) — the single most important hotel performance metric — stood at **\$66.51 for full-year 2023** and reached **\$68.24 on a trailing 12-month basis through August 2024**, the highest in the dataset's history. August 2024 saw a monthly RevPAR of **\$91.81**, an exceptional figure for a mid-sized Ohio market.

The RevPAR trend shows healthy, sustained growth — up from \$64.55 in 2016, recovering strongly after COVID, and now consistently setting new records.

6. Weekday Demand Is Robust, But Weekend/Leisure Has Room to Grow

The Day of Week analysis shows the market is heavily driven by **Monday–Wednesday business travel** (occupancy regularly in the 70–92% range on weekdays), while **Sunday remains the softest night** (~44–64% occupancy). A boutique hotel, which typically appeals to both business travelers seeking a distinctive experience and leisure/weekend travelers, could help capture underserved weekend demand while competing effectively on weeknights.

7. The Market Recovered Fully from COVID and Is Now Growing

Occupancy has remained remarkably stable and resilient over the study period. The Lima market averaged **66.6% occupancy** across 2016–2024, with the market holding in a consistent band even after absorbing significant new supply. Pre-pandemic occupancy peaked at **75.3% in 2019**, dropped sharply during COVID (bottoming at

ADDENDUM B (CONTINUED)

56.5% in 2020), and recovered to the low-to-mid 60s range by 2022–2023 — where it has stabilized.

Importantly, the market absorbed **two new hotels** (TownePlace Suites in 2021 and Holiday Inn Express in 2023, adding over 200 rooms) and occupancy held. August 2024 came in at a strong **83.0%**, signaling peak-season demand remains vigorous.

Bottom Line

The Lima hotel market is at an **all-time performance peak** — record ADR, record RevPAR, and record trailing revenues — while every single hotel in the market is a national chain in the mid-scale to upscale chain segment. There is **no boutique, lifestyle, or independent hotel** serving travelers who prefer unique, design-forward, locally-rooted accommodations. A boutique hotel would enter a high-performing market with an unoccupied niche, strong and growing demand, and rising rates that indicate willingness to pay a premium. The data makes a compelling case.

ADDENDUM C

Comparable Boutique Hotel/Airbnb Products

The Toledo Club - 235 14th St., Toledo, Ohio

- Luxurious private club experience
- Events, weddings
- Athletics
- Dining
- No overnight stay

The Armory Arts & Event Center (AirBNB) - Napoleon, Ohio

- Business events
- Private events
- Corporate meetings and parties
- Workshops
 - 5 Suites available for overnight stay
 - 3 Suites at the Emporium
 - Full bath, 300 sq. ft.
 - Dinette
 - 2 Suites in the Armory
 - Full bath, 1,500 sq. ft.
 - Dinette

The Hancock Hotel – Findlay, Ohio

- Corporate/Private events
- 99 Room
- 12 Luxury Suites

The DeFord – Ottawa, Ohio

- 7 Self-service Hotel Rooms
- DeFord Common Area

The Gibson – Tiffin, Ohio

- 23 Room Boutique Hotel
- Commercial space

The Findlay Inn & Conference Center – Findlay, Ohio

- 80 Rooms
- 16 Suites
- Reception/banquet hall
- 10 meeting rooms
- Restaurant
- Continental Breakfast
- Bar/Lounge

ADDENDUM C (CONTINUED)

The Millhouse Bed & Breakfast – Grand Rapids, Ohio

- 4 Large Suites Guestrooms
- Home Cooked breakfasts

Hotel Versailles - Versailles, Ohio

- 30 Room Boutique Hotel
- Silas Creative Kitchen/Restaurant

The Second Story - Defiance, Ohio

- Venue, Business Retreats, Corporate gatherings
- Short to Long-term arrangements
- 3 Suites Bedrooms
- Holds about 50 people

The Inn on Third – Defiance, Ohio

- Suites Bedrooms
 - Chicago Suite: Studio
 - The Jefferson Suite
 - A stand alone
 - 2 Bedrooms

ADDENDUM D

Memorial Hall Structure Photos

Interior



ADDENDUM D (CONTINUED)

Interior Continued



ADDENDUM D (CONTINUED)

Interior Continued



Exterior



ADDENDUM D (CONTINUED)

Exterior continued



ADDENDUM D (CONTINUED)

Exterior continued



ADDENDUM D (CONTINUED)

Exterior continued



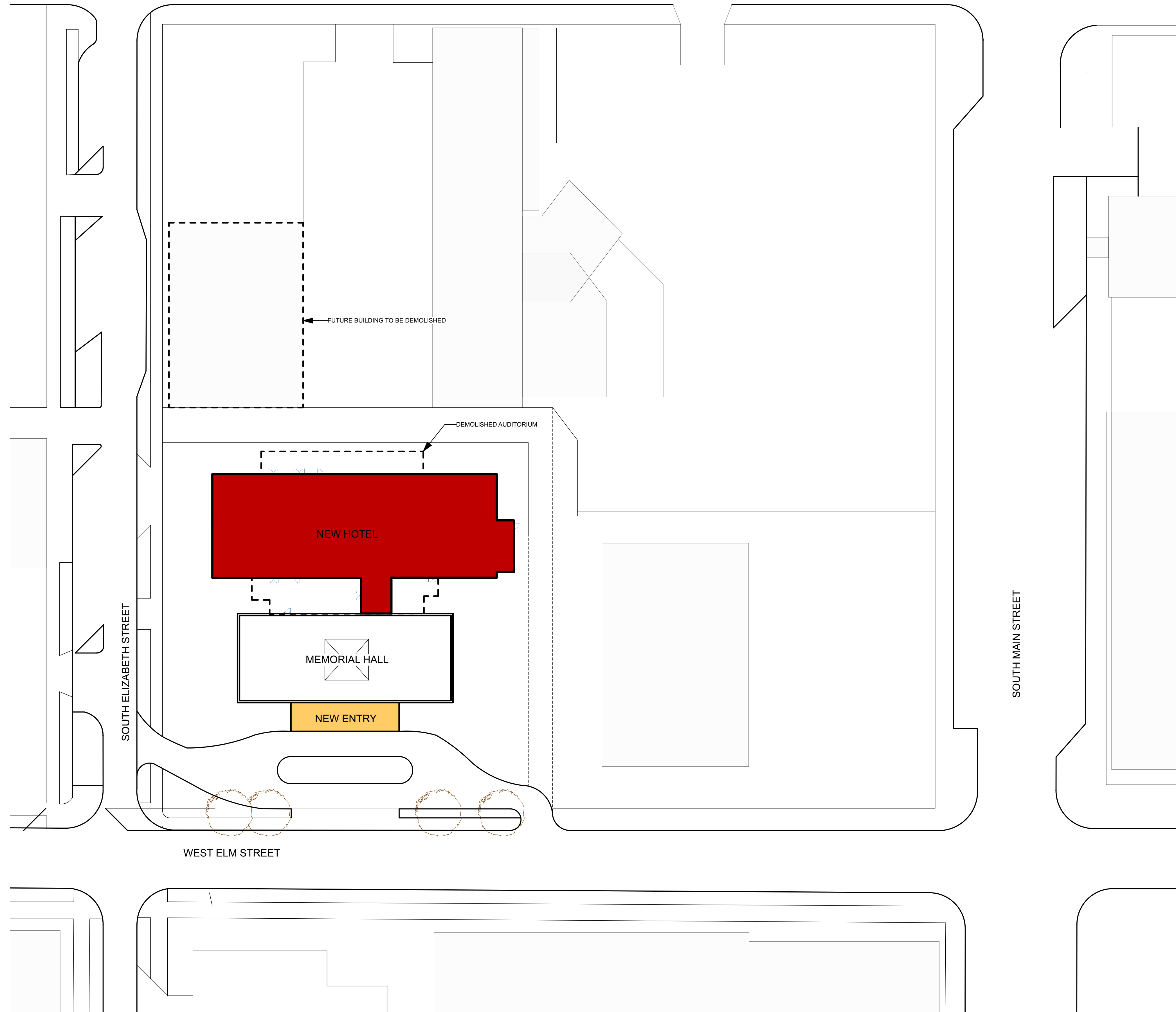
ADDENDUM D (CONTINUED)

Exterior continued



Exterior (Urban Planning)





1 SITE PLAN
SCALE: 1" = 30'

Option 3.3 Revised

Level	New	Existing	Both	# Rooms
Ground Floor	9,696	6,885	16,581	0
First Floor	9,696	6,885	16,581	20
Second Floor	9,357	5,923	15,280	25
Third Floor	9,357		9,357	21
Fourth Floor	9,357		9,357	21
Total SF	47,463	19,693	67,156	87

FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS

226 N. MIAMI AVE.
P.O. BOX 220
SIDNEY, OHIO 45365

(937) 492-4983
www.freytaginc.com
info@freytaginc.com

RENOVATION AND ADDITIONS
TO
MEMORIAL HALL
FOR
PORT AUTHORITY OF ALLEN COUNTY
LIMA, OH 45801

PROGRAMMING SET
4/8/26 - 8:50 AM
NOT FOR
CONSTRUCTION

These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

REVISIONS	DATE
OPTION 3.1 REVISED	3/13/26
OPTION 3.2	3/19/26
OPTION 3.2 REVISED	3/24/26
OPTION 3.3	4/1/26
OPTION 3.3 REVISED	4/8/26

COMM. NUMBER	DATE
2602	3/11/26

DRAWN BY	CHECKED BY
LP	DF

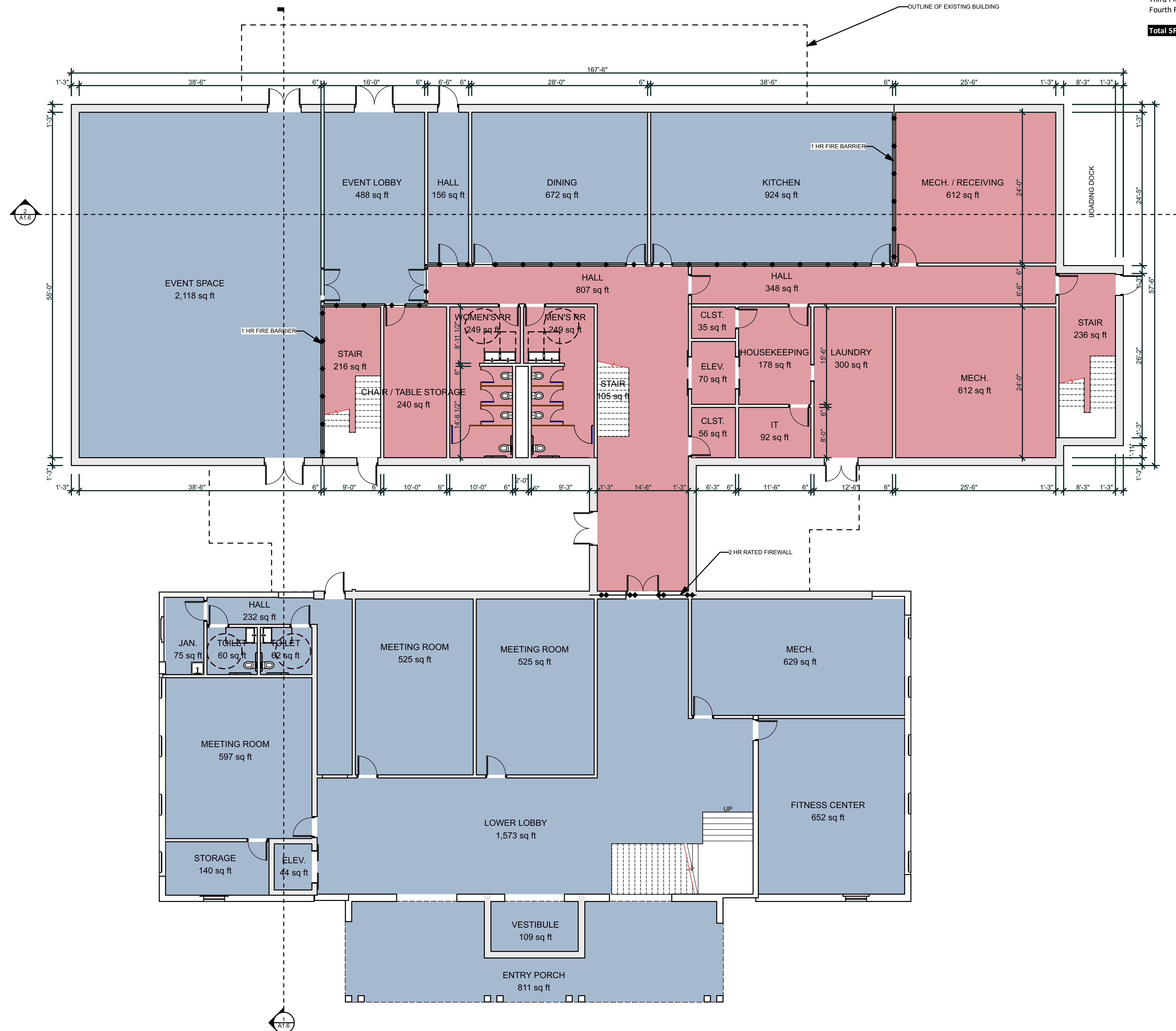
SITE PLAN

A1.0

Option 3.3 Revised

Level	New	Existing	Both	# Rooms
Ground Floor	9,696	6,885	16,581	0
First Floor	9,696	6,885	16,581	20
Second Floor	9,357	5,923	15,280	25
Third Floor	9,357		9,357	21
Fourth Floor	9,357		9,357	21
Total SF	47,463	19,693	67,156	87

FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS
 226 N. MIAMI AVE.
 P.O. BOX 220
 SIDNEY, OHIO 45365
 (937) 492-4983
 www.freytaginc.com
 info@freytaginc.com



RENOVATION AND ADDITIONS
 TO
MEMORIAL HALL
 FOR
PORT AUTHORITY OF ALLEN COUNTY
 130 W ELM ST
 LIMA, OH 45801

PROGRAMMING SET
 4/8/26 - 8:50 AM
 NOT FOR
 CONSTRUCTION

These designs and all items depicted herein, whether in writing or graphically, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

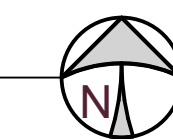
REVISIONS	DATE
OPTION 3.1 REVISED	3/13/26
OPTION 3.2	3/19/26
OPTION 3.2 REVISED	3/24/26
OPTION 3.3	4/1/26
OPTION 3.3 REVISED	4/8/26

COMM. NUMBER	DATE
2602	3/11/26

DRAWN BY: LP
 CHECKED BY: DF

GROUND FLOOR PLAN
A1.1

1
A1.1 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



Option 3.3 Revised

Level	New	Existing	Both	# Rooms
Ground Floor	9,696	6,885	16,581	0
First Floor	9,696	6,885	16,581	20
Second Floor	9,357	5,923	15,280	25
Third Floor	9,357		9,357	21
Fourth Floor	9,357		9,357	21
Total SF	47,463	19,693	67,156	87

FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS
 19371 492-4983
 www.freytaginc.com
 info@freytaginc.com

226 N. MIAMI AVE.
 P.O. BOX 220
 SIDNEY, OHIO 45365

RENOVATION AND ADDITIONS
 TO
MEMORIAL HALL
 FOR
PORT AUTHORITY OF ALLEN COUNTY
 LIMA, OH 45801
 130 W ELM ST

PROGRAMMING SET
 4/8/26 - 8:50 AM
 NOT FOR
 CONSTRUCTION

These designs and all items depicted herein, whether in writing or graphically, are instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

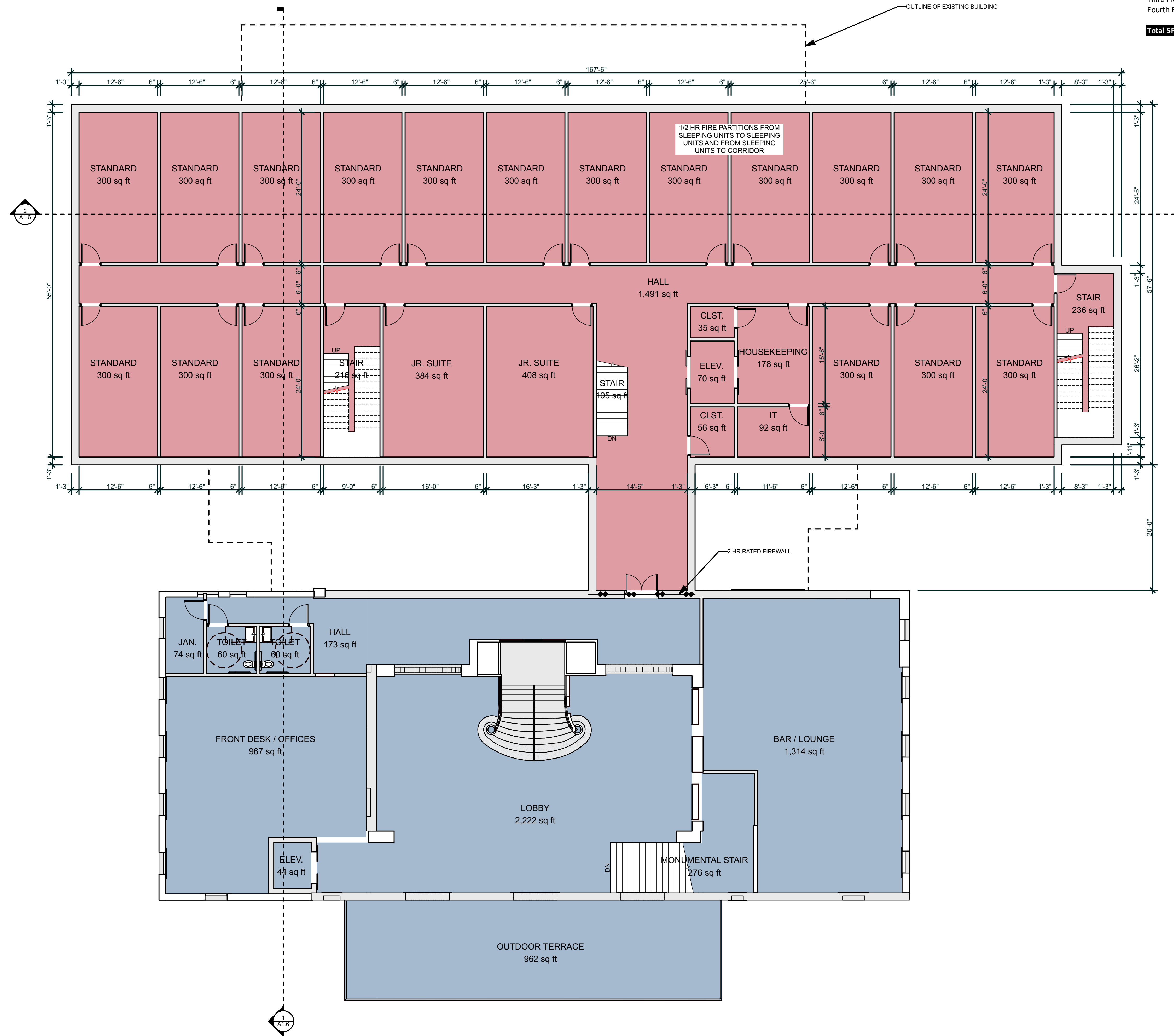
REVISIONS	DATE
OPTION 3.1 REVISED	3/13/26
OPTION 3.2	3/19/26
OPTION 3.2 REVISED	3/24/26
OPTION 3.3	4/1/26
OPTION 3.3 REVISED	4/8/26

COMM. NUMBER	DATE
2602	3/11/26

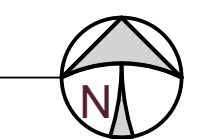
DRAWN BY	CHECKED BY
LP	DF

FIRST FLOOR PLAN

A1.2

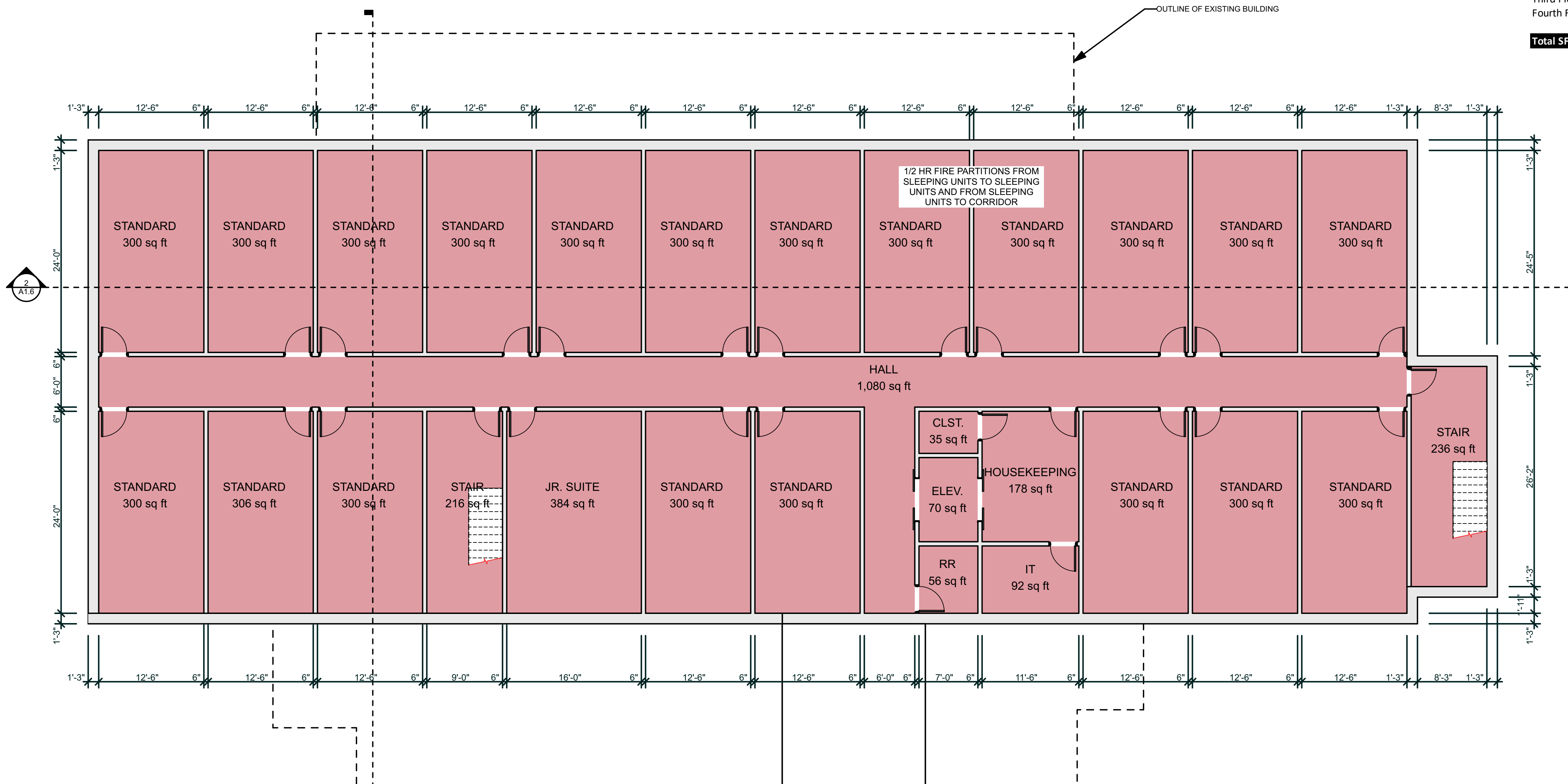


1
A1.2 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



Option 3.3 Revised

Level	New	Existing	Both	# Rooms
Ground Floor	9,696	6,885	16,581	0
First Floor	9,696	6,885	16,581	20
Second Floor	9,357	5,923	15,280	25
Third Floor	9,357	9,357	9,357	21
Fourth Floor	9,357		9,357	21
Total SF	47,463	19,693	67,156	87



FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS
 226 N. MIAMI AVE.
 P.O. BOX 220
 SIDNEY, OHIO 45365
 (937) 492-4983
 www.freytaginc.com
 info@freytaginc.com

RENOVATION AND ADDITIONS
 TO
MEMORIAL HALL
 FOR
PORT AUTHORITY OF ALLEN COUNTY
 LIMA, OH 45801
 130 W ELM ST

PROGRAMMING SET
 4/8/26 - 8:52 AM
 NOT FOR
 CONSTRUCTION

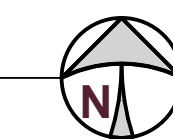
These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

REVISIONS	COMM. NUMBER	DATE
OPTION 3.1 REVISED	3/13/26	
OPTION 3.2	3/19/26	
OPTION 3.2 REVISED	3/24/26	
OPTION 3.3	4/1/26	
OPTION 3.3 REVISED	4/8/26	

COMM. NUMBER	DATE
2602	3/11/26
DRAWN BY LP	CHECKED BY DF

THIRD FLOOR PLAN

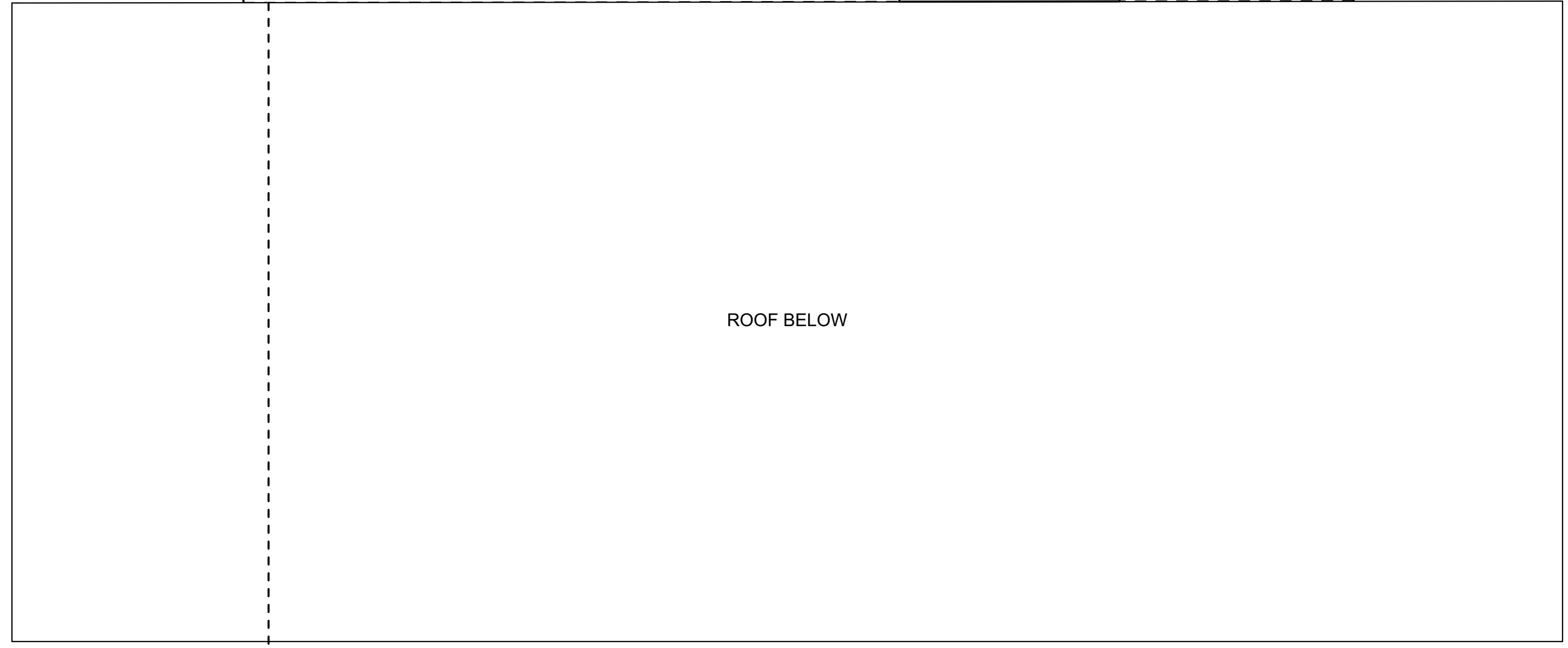
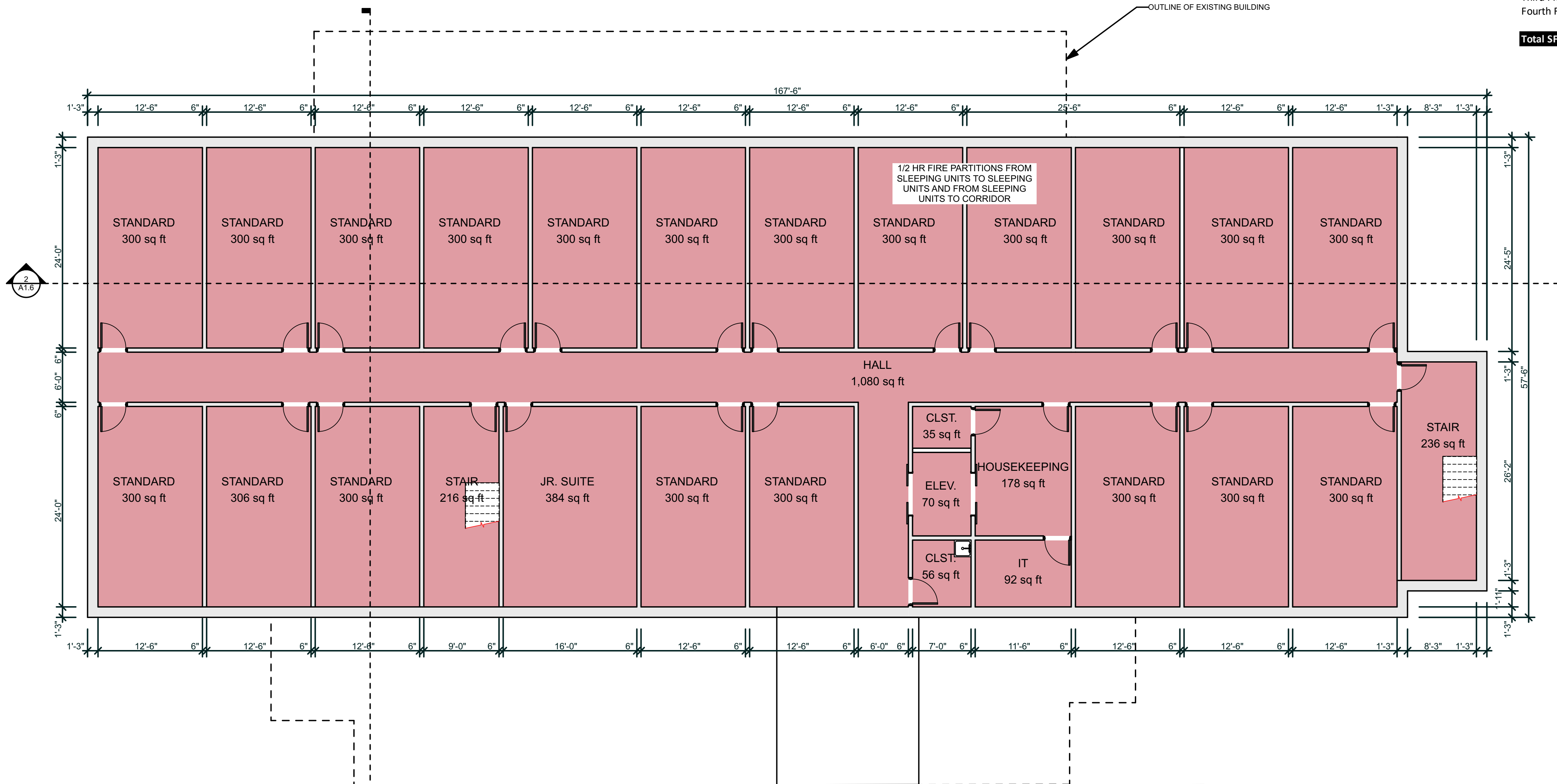
A1.4



ADDENDUM F (CONTINUED)

Option 3.3 Revised

Level	New	Existing	Both	# Rooms
Ground Floor	9,696	6,885	16,581	0
First Floor	9,696	6,885	16,581	20
Second Floor	9,357	5,923	15,280	25
Third Floor	9,357		9,357	21
Fourth Floor	9,357		9,357	21
Total SF	47,463	19,693	67,156	87



FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS
 937.492.4983
 www.freytaginc.com
 info@freytaginc.com
 226 N. MIAMI AVE.
 P.O. BOX 220
 SIDNEY, OHIO 45365

RENOVATION AND ADDITIONS
 TO
MEMORIAL HALL
 FOR
PORT AUTHORITY OF ALLEN COUNTY
 LIMA, OH 45801
 130 W ELM ST

PROGRAMMING SET
 4/8/26 - 8:50 AM
 NOT FOR
 CONSTRUCTION

These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

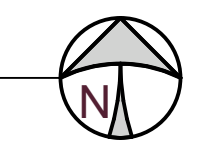
REVISIONS	DATE
OPTION 3.1 REVISED	3/13/26
OPTION 3.2	3/19/26
OPTION 3.2 REVISED	3/24/26
OPTION 3.3	4/1/26
OPTION 3.3 REVISED	4/8/26

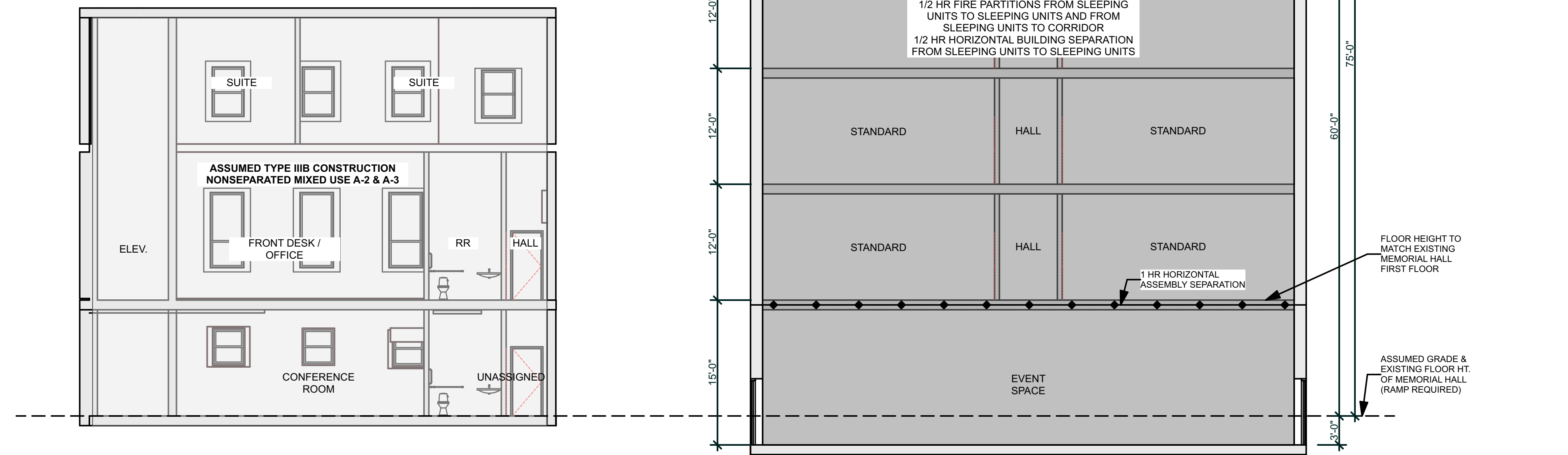
COMM. NUMBER	DATE
2602	3/11/26

DRAWN BY: LP
 CHECKED BY: DF

FOURTH FLOOR PLAN
A1.5

1
A1.5 FOURTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"





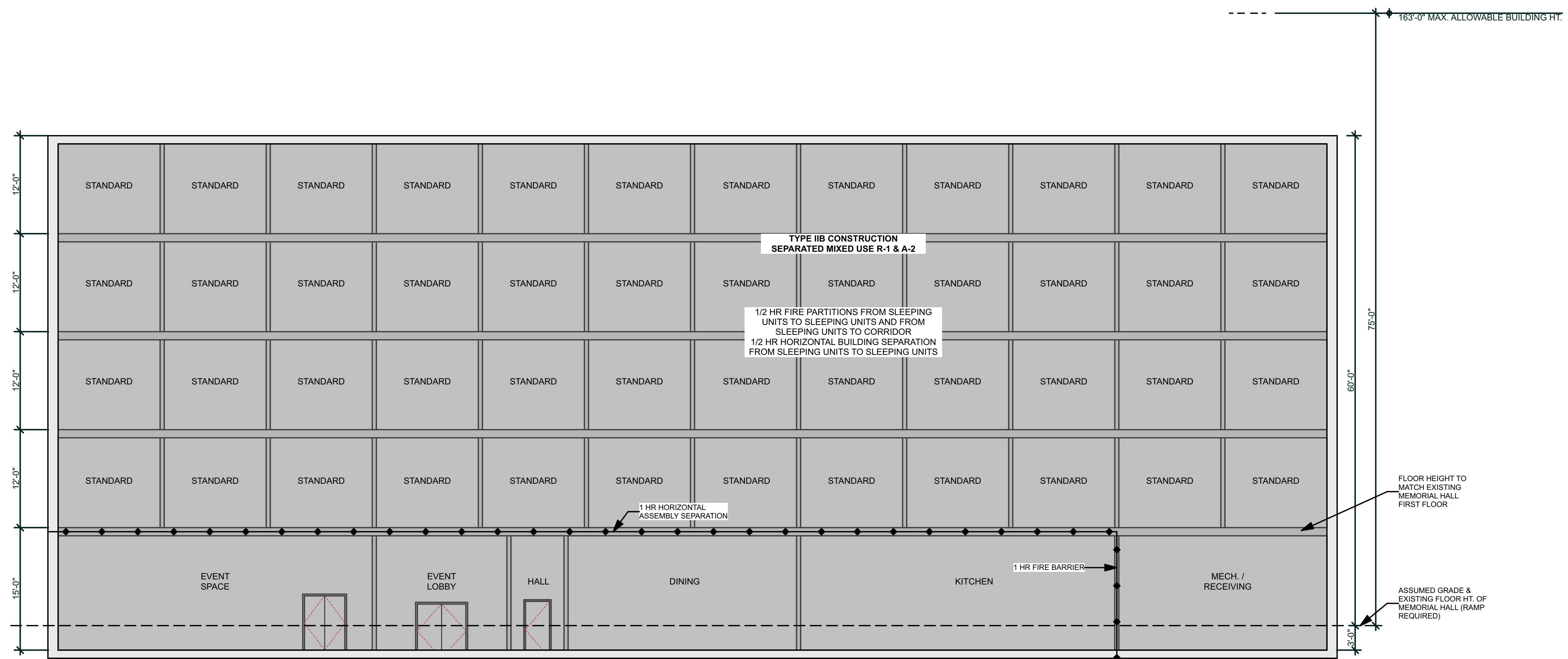
Option 3.3 Revised

Level	New	Existing	Both	# Rooms
Ground Floor	9,696	6,885	16,581	0
First Floor	9,696	6,885	16,581	20
Second Floor	9,357	5,923	15,280	25
Third Floor	9,357		9,357	21
Fourth Floor	9,357		9,357	21
Total SF	47,463	19,693	67,156	87

FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS
 1937 492-4983
 www.freytaginc.com
 info@freytaginc.com
 226 N. MIAMI AVE.
 P.O. BOX 220
 SIDNEY, OHIO 45365

RENOVATION AND ADDITIONS
 TO
MEMORIAL HALL
 FOR
PORT AUTHORITY OF ALLEN COUNTY
 LIMA, OH 45801
 130 W ELLM ST

1 BUILDING SECTION
 SCALE: 1/8" = 1'-0"



PROGRAMMING SET
 4/8/26 - 10:22 AM
 NOT FOR
 CONSTRUCTION

These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

REVISIONS	DATE
OPTION 3.1 REVISED	3/13/26
OPTION 3.2	3/19/26
OPTION 3.2 REVISED	3/24/26
OPTION 3.3	4/1/26
OPTION 3.3 REVISED	4/8/26

COMM. NUMBER	DATE
2602	3/11/26

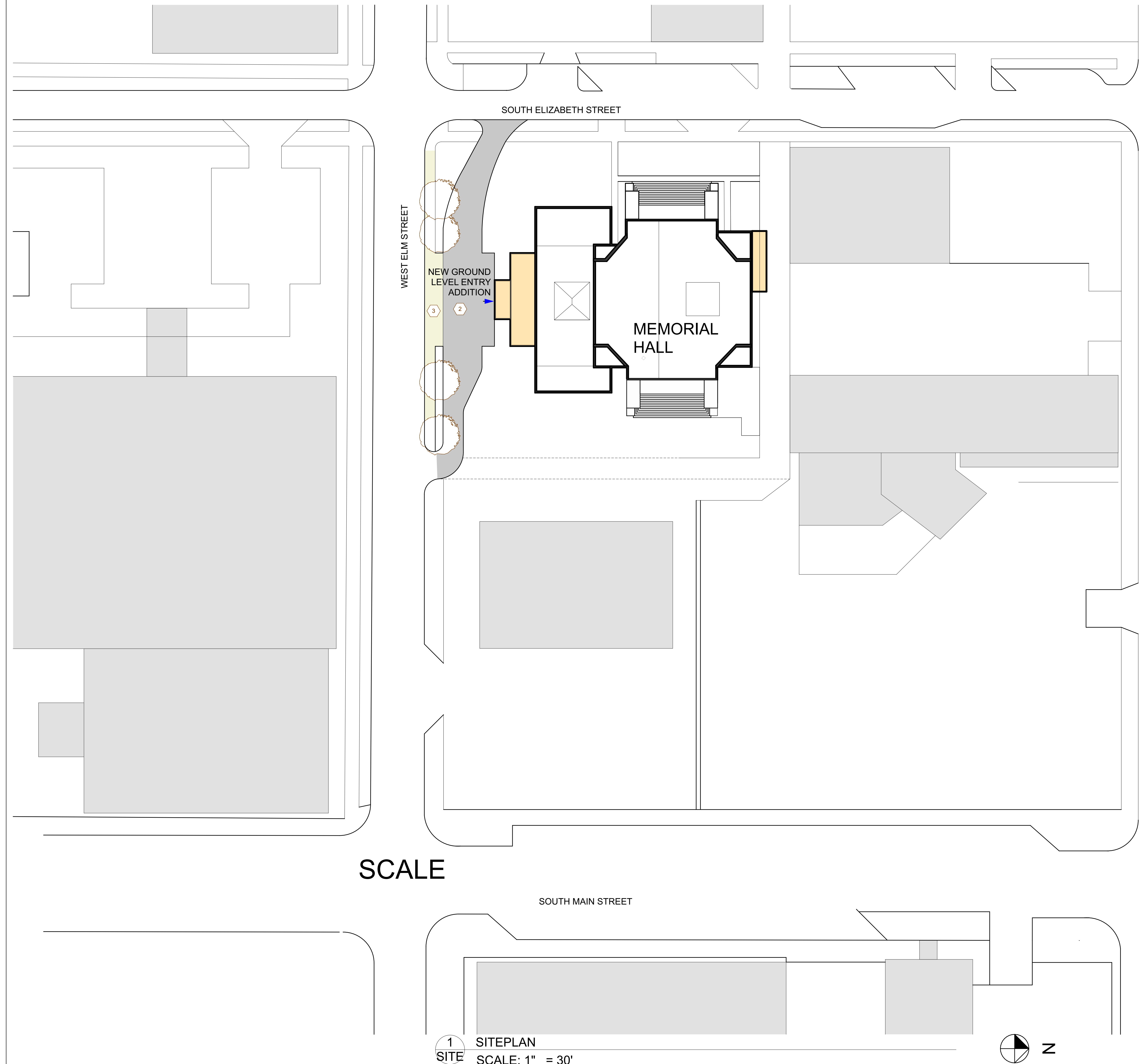
DRAWN BY	CHECKED BY
LP	DF

BUILDING SECTIONS

2 BUILDING SECTION
 SCALE: 1/8" = 1'-0"

A1.6

PLOT DATE: 9/5/24 @ 3:42 PM LAYOUT: :SITE:Floor Plans : Layout FILENAME: MP - Allen County Memorial Hall.pln FILE PATH: /Users/adam/Documents/MP - Allen County Memorial Hall.pln



SCALE

1 SITE SITEPLAN SCALE: 1" = 30'

KEY NOTES

SEE ARCH/STRUCT NARRATIVE FOR ADDITIONAL INFORMATION

1. OMIT
2. NEW ASPHALT DRIVE, CONCRETE CURB CUT
3. NEW CONCRETE SIDEWALK
4. REPOINT AND REPLACE DAMAGED BRICK AND STONE. REFER TO NARRATIVE
5. NEW THERMAL ALUMINUM FRAME, GLAZED ENTRY DOORS W/TRANSOM TO FIT EXISTING OPENING.
6. MAIN ENTRY/LOBBY ADDITION - CONCRETE FOOTING/FOUNDATION, STRUCTURAL STEEL FRAME, STRUCTURAL METAL STUD FRAMING, INSULATION, MCM PANEL SIDING, METAL DECK/CONCRETE/INSULATION/ WATERPROOFING MEMBRANE AND PEDESTAL ROOF DECK.
7. KITCHEN ADDITION - CONCRETE FOOTING/FOUNDATION, MASONRY BEARING WALL, RIGID INSULATION AND METAL SIDING, STEEL BAR JOIST/ METAL ROOF DECK, INSULATION AND MEMBRANE ROOFING
8. OMIT
9. NEW MONUMENTAL STAIR WITH TERRAZZO TREADS/RISERS AND DECORATIVE METAL RAILING SYSTEM.
10. CLEAN/REPAIR EXISTING TERRAZZO FLOOR/BASE AND STAIRS.
11. CLEAN/REPAIR EXISTING COLUMNS/BALUSTRADE/TRIM TO MATCH IN KIND AND FINISH.
12. NEW FLOORING AND BASE.
13. NEW ALUMINUM STOREFRONT SYSTEM W/GLAZED ALUMINUM ENTRY DOOR
14. OMIT
15. NEW ELEVATOR.
16. OMIT
17. NEW STRUCTURAL STEEL COLUMN AND BEAM FLOOR FRAMING, COMPOSITE METAL DECK AND CONCRETE SLAB HOTEL FLOOR SYSTEM.
18. NEW HOTEL ROOM CONSTRUCTION.
19. NEW ALUMINUM CURTAINWALL
20. OUTLINE OF NEW SKYLIGHT.
21. NEW WALL OPENING FOR THERMAL ALUMINUM FRAME WINDOW WITH INSULATING GLASS.
22. NEW WALL CONSTRUCTION
23. INFILL OPENING TO MATCH ADJACENT SURFACES IN KIND AND FINISH.
24. NEW COLUMN FOOTING REFER TO STRUCTURAL
25. NEW THERMAL ALUMINUM FRAME WINDOW WITH INSULATING GLASS.
26. OMIT
27. NEW STRUCTURAL STEEL FLOOR FRAMING SYSTEM WITH CONCRETE SLAB.
28. NEW EXIT STAIR AND ENCLOSURE INCLUDING RAILING SYSTEM.
29. NEW PLUMBING FIXTURES, TOILET COMPARTMENTS, SOLID SURFACE VANITY AND LAVATORIES
30. NEW FOUNTAINWATER FEATURE.
31. PLANTS IN CONTAINERS.
32. EXISTING ELEVATOR AND EQUIPMENT TO BE REMOVED FOR FUTURE DUCT SHAFT

LEGEND NTS NOTE: REFER TO NARRATIVE FOR ADDITIONAL INFORMATION

ADDITION OR NEW CONSTRUCTION REQUIRING FLOOR/CEILING/STRUCTURAL DEMOLITION

FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS

937.492.4983
www.freytaginc.com
info@freytaginc.com

226 N. MIAMI AVE.
PO. BOX 220
SIDNEY, OHIO 45365

FEASIBILITY STUDY
LIMA MEMORIAL HALL
RENOVATIONS AND ADDITIONS
FOR
BOUTIQUE HOTEL/EVENT CENTER
LIMA, OH, 45801
130 W ELM ST

These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

REVISIONS	
COMM. NUMBER	DATE
2404	2/23/2024
DRAWN BY	CHECKED BY
AF	DF
Layout	
SITE	

PLOT DATE: 9/5/24 @ 3:42 PM LAYOUT: A1.1:Floor Plans - Ground Floor plan FILENAME: MP - Allen County Memorial Hall.pln FILE PATH: /Users/adam/Documents/MP - Allen County Memorial Hall.pln

1
A1.1 GROUND FLOOR
SCALE: 1/8" = 1'-0"



GROUND FLOOR SCHEDULE	
ROOM IDENTIFICATION	AREA
VEST	205 sf
LOBBY	696 sf
OFF.	178 sf
LOBBY EXTENSION+CORR	2204 sf
FITNESS CENTER	401 sf
SMALL MEETING RM	382 sf
HOTEL SERVICES 1	297 sf
HOTEL SERVICES 2	492 sf
HOTEL SERVICES 3	1607 sf
HOTEL SERVICES 4	384 sf
HOTEL SERVICES 5	230 sf
WOMEN'S TOILET RM	239 sf
MEN'S TOILET RM	214 sf
BACK CORR.	1179 sf
LARGE CONF. RM	622 sf
UNASSIGNED MECH.	3182 sf
NEW STAIR	
NEW ELEVATOR	

ADDITION 1,210 SF
EXISTING 14,320SF
TOTAL AREA 15,530SF

- # KEY NOTES**
- SEE ARCH/STRUCT NARRATIVE FOR ADDITIONAL INFORMATION
- OMIT
 - NEW ASPHALT DRIVE, CONCRETE CURB CUT
 - NEW CONCRETE SIDEWALK
 - REPOINT AND REPLACE DAMAGED BRICK AND STONE. REFER TO NARRATIVE
 - NEW THERMAL ALUMINUM FRAME, GLAZED ENTRY DOORS W/TRANSOM TO FIT EXISTING OPENING
 - MAIN ENTRY/LOBBY ADDITION - CONCRETE FOOTING/FOUNDATION, STRUCTURAL STEEL FRAME, STRUCTURAL METAL STUD FRAMING, INSULATION, MCM PANEL SIDING, METAL DECK/CONCRETE/INSULATION/ WATERPROOFING MEMBRANE AND PEDESTAL ROOF DECK
 - KITCHEN ADDITION - CONCRETE FOOTING/FOUNDATION, MASONRY BEARING WALL, RIGID INSULATION AND METAL SIDING, STEEL BAR JOIST/ METAL ROOF DECK, INSULATION AND MEMBRANE ROOFING
 - OMIT
 - NEW MONUMENTAL STAIR WITH TERRAZZO TREADS/RISERS AND DECORATIVE METAL RAILING SYSTEM
 - CLEAN/REPAIR EXISTING TERRAZZO FLOOR/BASE AND STAIRS
 - CLEAN/REPAIR EXISTING COLUMNS/BALUSTRADE/TRIM TO MATCH IN KIND AND FINISH
 - NEW FLOORING AND BASE
 - NEW ALUMINUM STOREFRONT SYSTEM W/GLAZED ALUMINUM ENTRY DOOR
 - OMIT
 - NEW ELEVATOR
 - OMIT
 - NEW STRUCTURAL STEEL COLUMN AND BEAM FLOOR FRAMING, COMPOSITE METAL DECK AND CONCRETE SLAB HOTEL FLOOR SYSTEM
 - NEW HOTEL ROOM CONSTRUCTION
 - NEW ALUMINUM CURTAINWALL
 - OUTLINE OF NEW SKYLIGHT
 - NEW WALL OPENING FOR THERMAL ALUMINUM FRAME WINDOW WITH INSULATING GLASS
 - NEW WALL CONSTRUCTION
 - INFILL OPENING TO MATCH ADJACENT SURFACES IN KIND AND FINISH
 - NEW COLUMN FOOTING REFER TO STRUCTURAL
 - NEW THERMAL ALUMINUM FRAME WINDOW WITH INSULATING GLASS
 - OMIT
 - NEW STRUCTURAL STEEL FLOOR FRAMING SYSTEM WITH CONCRETE SLAB
 - NEW EXIT STAIR AND ENCLOSURE INCLUDING RAILING SYSTEM
 - NEW PLUMBING FIXTURES, TOILET COMPARTMENTS, SOLID SURFACE VANITY AND LAVATORIES
 - NEW FOUNTAIN/WATER FEATURE
 - PLANTS IN CONTAINERS
 - EXISTING ELEVATOR AND EQUIPMENT TO BE REMOVED FOR FUTURE DUCT SHAFT

LEGEND	NTS	NOTE: REFER TO NARRATIVE FOR ADDITIONAL INFORMATION
		ADDITION OR NEW CONSTRUCTION REQUIRING FLOOR/CEILING/STRUCTURAL DEMOLITION
		ROOM RENOVATION. REFER TO NARRATIVE
		CORRIDOR RENOVATION (SAME LEVEL OF FINISH AS ROOM RENOVATION)
		UNFINISHED SPACED
		GREEN ROOF
		NEW 2 1/2" INSULATED STUD WALL (TYP. AT PERIMETER OF EXTERIOR WALL)
		NEW STUD WALL CONSTRUCTION. REFER TO NARRATIVE
		EXISTING WALL WITH NEW FINISH OR REPAIR
		NEW DOOR AND FRAME
		NEW STRUCTURAL COLUMN AND GRID

FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS
1937/492-4983
www.freytaginc.com
info@freytaginc.com
226 N. MIAMI AVE.
PO. BOX 220
SIDNEY, OHIO 45365

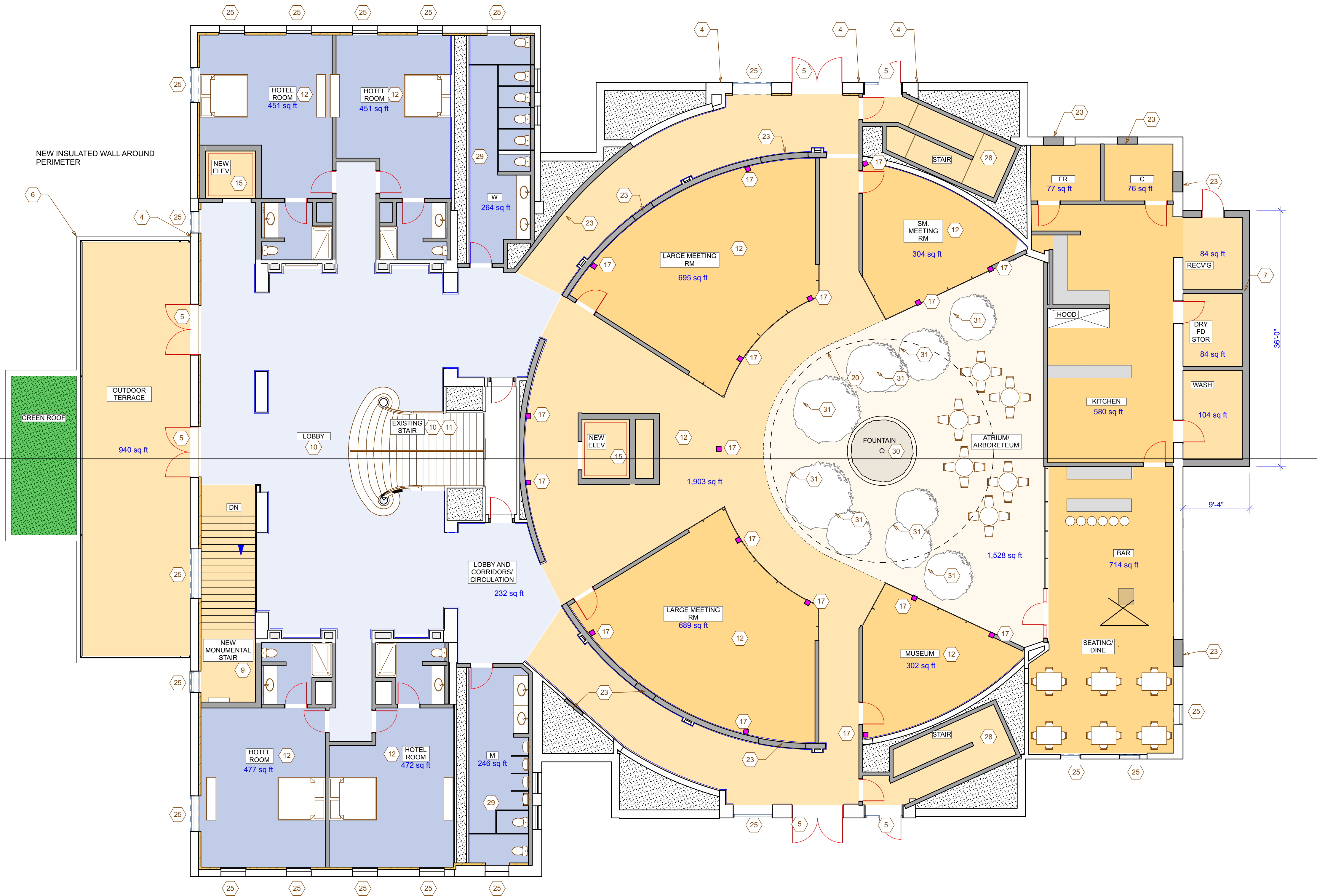
FEASIBILITY STUDY
LIMA MEMORIAL HALL
RENOVATIONS AND ADDITIONS
FOR
BOULIQUE HOTEL/EVENT CENTER
LIMA, OH, 45801
130 W ELM ST

These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

REVISIONS	
COMM. NUMBER	DATE
2404	2/23/2024
DRAWN BY	CHECKED BY
AF	DF
Ground Floor plan	
A1.1	

PLOT DATE: 9/5/24 @ 3:42 PM LAYOUT: A1.2.Floor Plans: First Floor Plan FILENAME: MP - Allen County Memorial Hall Plan FILE PATH: C:\Users\adam\Documents\MP - Allen County Memorial Hall.pn

1 FIRST FLOOR PLAN
A1.2 SCALE: 1/8" = 1'-0"



FIRST FLOOR SCHEDULE

ROOM IDENTIFICATION	AREA
OUTDOOR TERRACE	904 sf
LOBBY	5171 sf
HOTEL ROOM	451 sf
HOTEL ROOM	451 sf
HOTEL ROOM	477 sf
HOTEL ROOM	472 sf
WOMEN'S TOILET RM	264 sf
MEN'S TOILET RM	246 sf
GRAND STAIR	sf
LARGE MEETING RM	695 sf
LARGE MEETING RM	689 sf
SMALL MEETING RM	304 sf
MUSEUM	302 sf
ATRIUM	sf
BAR AND DINING	731 sf
KITCHEN	580 sf
FREEZER	77 sf
COOLER	77 sf
RECEIVING	84 sf
DRY FOOD STORAGE	84 sf
DISH WASHING	104 sf
NEW STAIR	sf
NEW ELEVATOR	sf
ADDITION 336 SF	
EXISTING 15,051 SF	
TOTAL AREA 15,387 SF	

KEY NOTES

SEE ARCH/STRUCT NARRATIVE FOR ADDITIONAL INFORMATION

- OMIT
- NEW ASPHALT DRIVE, CONCRETE CURB CUT
- NEW CONCRETE SIDEWALK
- REPOINT AND REPLACE DAMAGED BRICK AND STONE. REFER TO NARRATIVE
- NEW THERMAL ALUMINUM FRAME, GLAZED ENTRY DOORS W/TRANSOM TO FIT EXISTING OPENING
- MAIN ENTRY/LOBBY ADDITION - CONCRETE FOOTING/FOUNDATION, STRUCTURAL STEEL FRAME, STRUCTURAL METAL STUD FRAMING, INSULATION, MCM PANEL SIDING, METAL DECK/CONCRETE/INSULATION/ WATERPROOFING MEMBRANE AND PEDESTAL ROOF DECK
- KITCHEN ADDITION - CONCRETE FOOTING/FOUNDATION, MASONRY BEARING WALL, RIGID INSULATION AND METAL SIDING, STEEL BAR JOIST/ METAL ROOF DECK, INSULATION AND MEMBRANE ROOFING
- OMIT
- NEW MONUMENTAL STAIR WITH TERRAZZO TREADS/RISERS AND DECORATIVE METAL RAILING SYSTEM
- CLEAN/REPAIR EXISTING TERRAZZO FLOOR/BASE AND STAIRS
- CLEAN/REPAIR EXISTING COLUMNS/BALUSTRADE/TRIM TO MATCH IN KIND AND FINISH
- NEW FLOORING AND BASE
- NEW ALUMINUM STOREFRONT SYSTEM W/GLAZED ALUMINUM ENTRY DOOR
- OMIT
- NEW ELEVATOR
- OMIT
- NEW STRUCTURAL STEEL COLUMN AND BEAM FLOOR FRAMING, COMPOSITE METAL DECK AND CONCRETE SLAB HOTEL FLOOR SYSTEM
- NEW HOTEL ROOM CONSTRUCTION
- NEW ALUMINUM CURTAINWALL
- OUTLINE OF NEW SKYLIGHT
- NEW WALL OPENING FOR THERMAL ALUMINUM FRAME WINDOW WITH INSULATING GLASS
- NEW WALL CONSTRUCTION
- INFILL OPENING TO MATCH ADJACENT SURFACES IN KIND AND FINISH
- NEW COLUMN FOOTING REFER TO STRUCTURAL
- NEW THERMAL ALUMINUM FRAME WINDOW WITH INSULATING GLASS
- OMIT
- NEW STRUCTURAL STEEL FLOOR FRAMING SYSTEM WITH CONCRETE SLAB
- NEW EXIT STAIR AND ENCLOSURE INCLUDING RAILING SYSTEM
- NEW PLUMBING FIXTURES, TOILET COMPARTMENTS, SOLID SURFACE VANITY AND LAVATORIES
- NEW FOUNTAIN/WATER FEATURE
- PLANTS IN CONTAINERS
- EXISTING ELEVATOR AND EQUIPMENT TO BE REMOVED FOR FUTURE DUCT SHAFT

LEGEND

- NOTE: REFER TO NARRATIVE FOR ADDITIONAL INFORMATION
- ADDITION OR NEW CONSTRUCTION REQUIRING FLOOR/CEILING/STRUCTURAL DEMOLITION
 - ROOM RENOVATION. REFER TO NARRATIVE
 - CORRIDOR RENOVATION (SAME LEVEL OF FINISH AS ROOM RENOVATION)
 - UNFINISHED SPACED
 - NEW 2 1/2" INSULATED STUD WALL (TYP. AT PERIMETER OF EXTERIOR WALL)
 - NEW STUD WALL CONSTRUCTION. REFER TO NARRATIVE
 - EXISTING WALL WITH NEW FINISH OR REPAIR
 - NEW DOOR AND FRAME
 - NEW STRUCTURAL COLUMN AND GRID

FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS
 1937/492-4983
 www.freytaginc.com
 info@freytaginc.com

FEASIBILITY STUDY
LIMA MEMORIAL HALL
 RENOVATIONS AND ADDITIONS
 FOR
BOULIQUE HOTEL/EVENT CENTER
 LIMA, OH, 45801
 130 W ELM ST

These designs and all items depicted herein, whether in writing or graphically, are instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

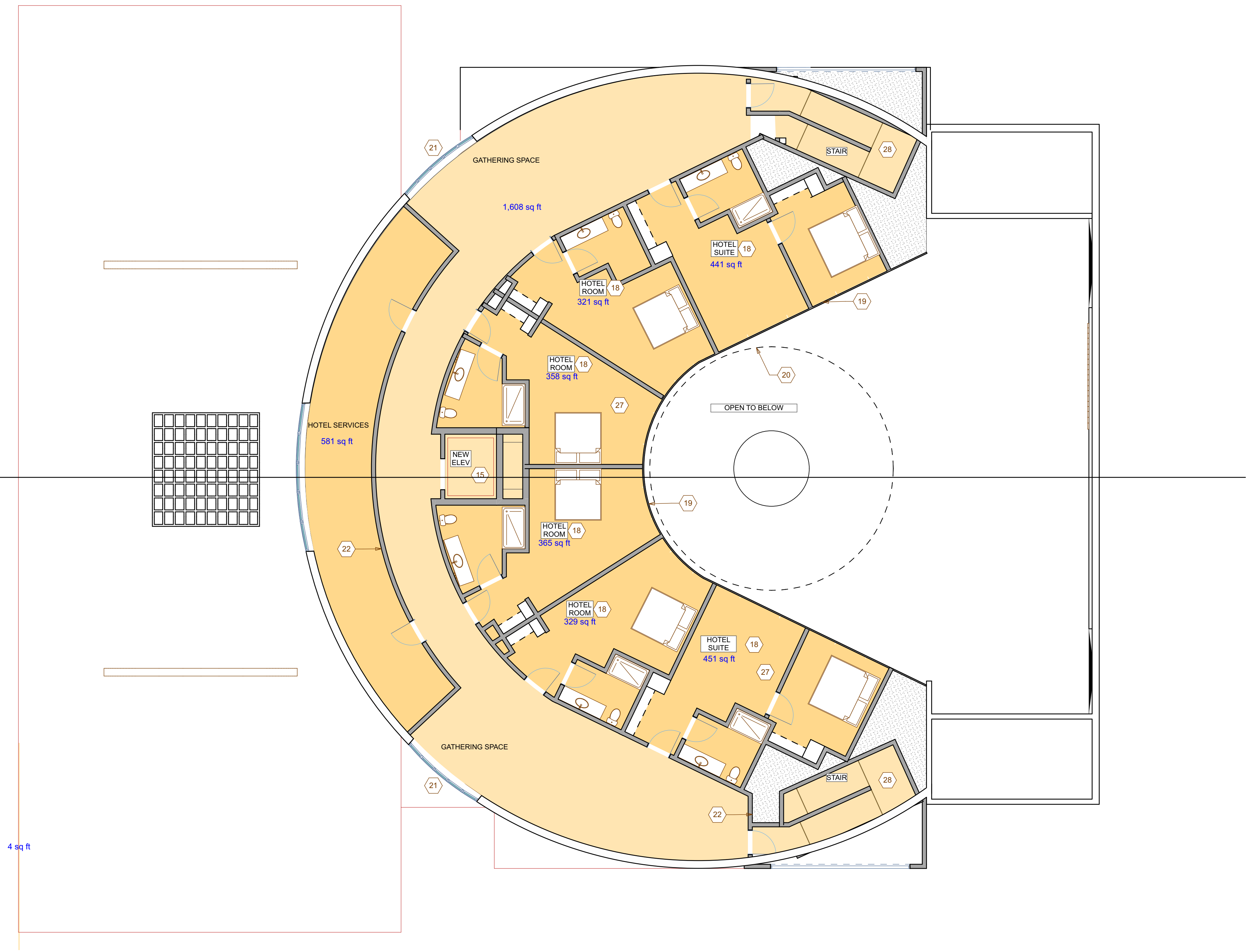
REVISIONS

COMM. NUMBER	DATE
2404	2/23/2024
DRAWN BY AF	CHECKED BY DF

First Floor Plan
A1.2

PLOT DATE: 9/5/24 @ 3:42 PM LAYOUT: -A1.4:Floor Plans - Third Floor Plan FILENAME: MP - Allen County Memorial Hall Plan FILE PATH: I:\Users\adam\Documents\MP - Allen County Memorial Hall.pln

1
A1.4 **THIRD FLOOR PLAN**
SCALE: 1/8" = 1'-0"



THIRD FLOOR SCHEDULE	
ROOM IDENTIFICATION	AREA
CORRIDOR	1608 sf
HOTEL SUITE	427 sf
HOTEL SUITE	436 sf
HOTEL ROOM	349 sf
HOTEL ROOM	367 sf
HOTEL ROOM	371 sf
HOTEL ROOM	355 sf
HOTEL SERVICES	581 SF
NEW STAIR	sf
NEW ELEVATOR	sf
TOTAL AREA 9,288 SF	

KEY NOTES

- SEE ARCH/STRUCT NARRATIVE FOR ADDITIONAL INFORMATION
- OMIT
 - NEW ASPHALT DRIVE, CONCRETE CURB CUT
 - NEW CONCRETE SIDEWALK
 - REPOINT AND REPLACE DAMAGED BRICK AND STONE. REFER TO NARRATIVE
 - NEW THERMAL ALUMINUM FRAME, GLAZED ENTRY DOORS W/TRANSOM TO FIT EXISTING OPENING.
 - MAIN ENTRY/LOBBY ADDITION - CONCRETE FOOTING/FOUNDATION, STRUCTURAL STEEL FRAME, STRUCTURAL METAL STUD FRAMING, INSULATION, MCM PANEL SIDING, METAL DECK/CONCRETE/INSULATION/ WATERPROOFING MEMBRANE AND PEDESTAL ROOF DECK.
 - KITCHEN ADDITION - CONCRETE FOOTING/FOUNDATION, MASONRY BEARING WALL, RIGID INSULATION AND METAL SIDING, STEEL BAR JOIST/ METAL ROOF DECK, INSULATION AND MEMBRANE ROOFING
 - OMIT
 - NEW MONUMENTAL STAIR WITH TERRAZZO TREADS/RISERS AND DECORATIVE METAL RAILING SYSTEM.
 - CLEAN/REPAIR EXISTING TERRAZZO FLOOR/BASE AND STAIRS.
 - CLEAN/REPAIR EXISTING COLUMNS/BALUSTRADE/TRIM TO MATCH IN KIND AND FINISH.
 - NEW FLOORING AND BASE.
 - NEW ALUMINUM STOREFRONT SYSTEM W/GLAZED ALUMINUM ENTRY DOOR
 - OMIT
 - NEW ELEVATOR.
 - OMIT
 - NEW STRUCTURAL STEEL COLUMN AND BEAM FLOOR FRAMING, COMPOSITE METAL DECK AND CONCRETE SLAB HOTEL FLOOR SYSTEM.
 - NEW HOTEL ROOM CONSTRUCTION.
 - NEW ALUMINUM CURTAIN WALL.
 - OUTLINE OF NEW SKYLIGHT.
 - NEW WALL OPENING FOR THERMAL ALUMINUM FRAME WINDOW WITH INSULATING GLASS.
 - NEW WALL CONSTRUCTION
 - INFILL OPENING TO MATCH ADJACENT SURFACES IN KIND AND FINISH.
 - NEW COLUMN FOOTING REFER TO STRUCTURAL
 - NEW THERMAL ALUMINUM FRAME WINDOW WITH INSULATING GLASS.
 - OMIT
 - NEW STRUCTURAL STEEL FLOOR FRAMING SYSTEM WITH CONCRETE SLAB.
 - NEW EXIT STAIR AND ENCLOSURE INCLUDING RAILING SYSTEM.
 - NEW PLUMBING FIXTURES, TOILET COMPARTMENTS, SOLID SURFACE VANITY AND LAVATORIES.
 - NEW FOUNTAIN/WATER FEATURE.
 - PLANTS IN CONTAINERS.
 - EXISTING ELEVATOR AND EQUIPMENT TO BE REMOVED FOR FUTURE DUCT SHAFT

LEGEND NOTE: REFER TO NARRATIVE FOR ADDITIONAL INFORMATION

- ADDITION OR NEW CONSTRUCTION REQUIRING FLOOR/ CEILING/STRUCTURAL DEMOLITION
- ROOM RENOVATION. REFER TO NARRATIVE
- CORRIDOR RENOVATION (SAME LEVEL OF FINISH AS ROOM RENOVATION)
- UNFINISHED SPACED
- NEW 2 1/2" INSULATED STUD WALL (TYP. AT PERIMETER OF EXTERIOR WALL
- NEW STUD WALL CONSTRUCTION. REFER TO NARRATIVE
- EXISTING WALL WITH NEW FINISH OR REPAIR
- NEW DOOR AND FRAME
- NEW STRUCTURAL COLUMN AND GRID

FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS

(937) 492-4983
www.freytaginc.com
info@freytaginc.com

226 N. MIAMI AVE.
PO. BOX 220
SIDNEY, OHIO 45365

FEASIBILITY STUDY
LIMA MEMORIAL HALL
RENOVATIONS AND ADDITIONS
FOR
BOUQUETTE HOTEL/EVENT CENTER
LIMA, OH, 45801
130 W ELM ST

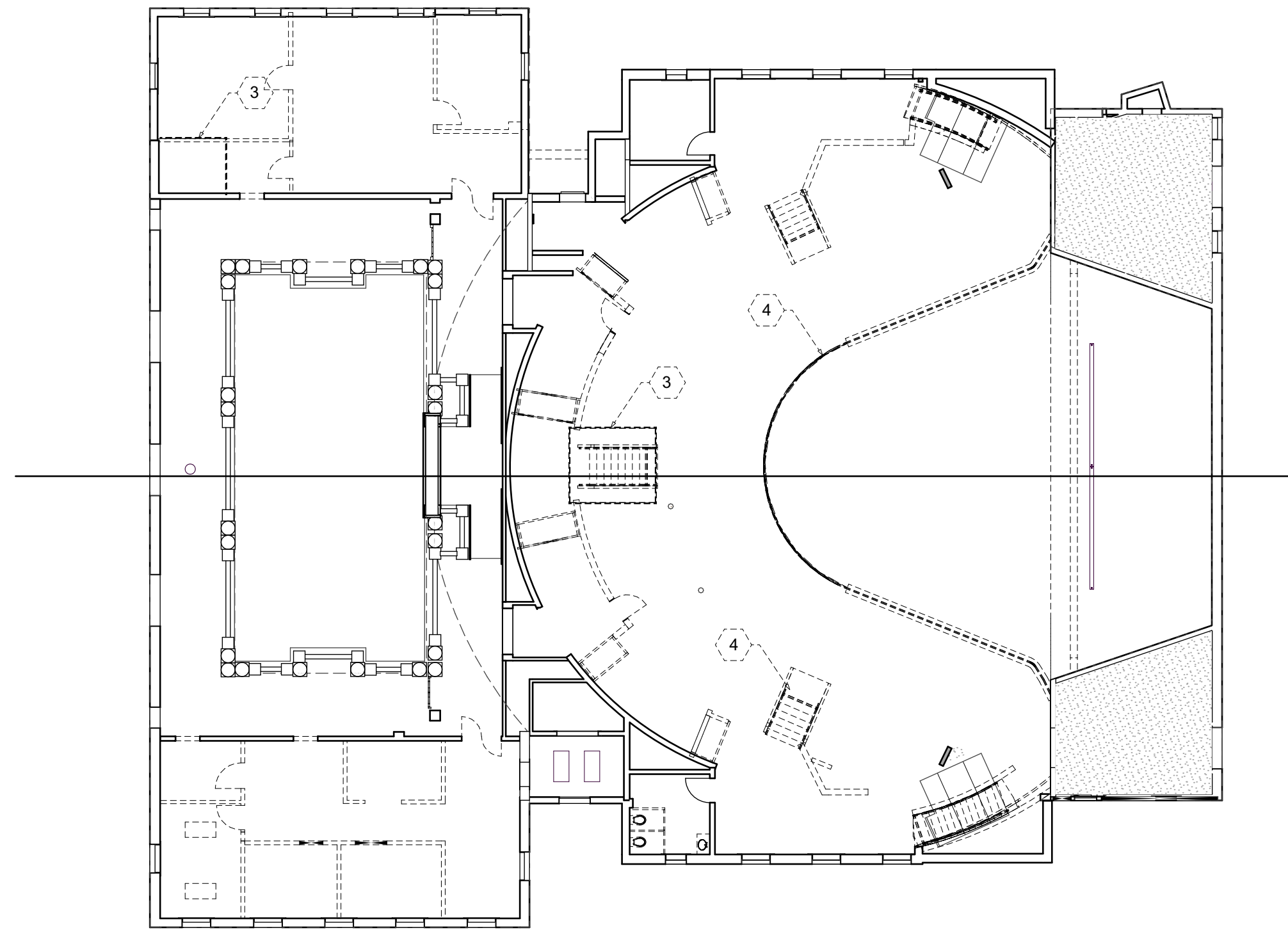
These designs and all items depicted herein, whether in writing or graphically, are instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

REVISIONS	
COMM. NUMBER	DATE
2404	2/23/2024
DRAWN BY	CHECKED BY
AF	DF

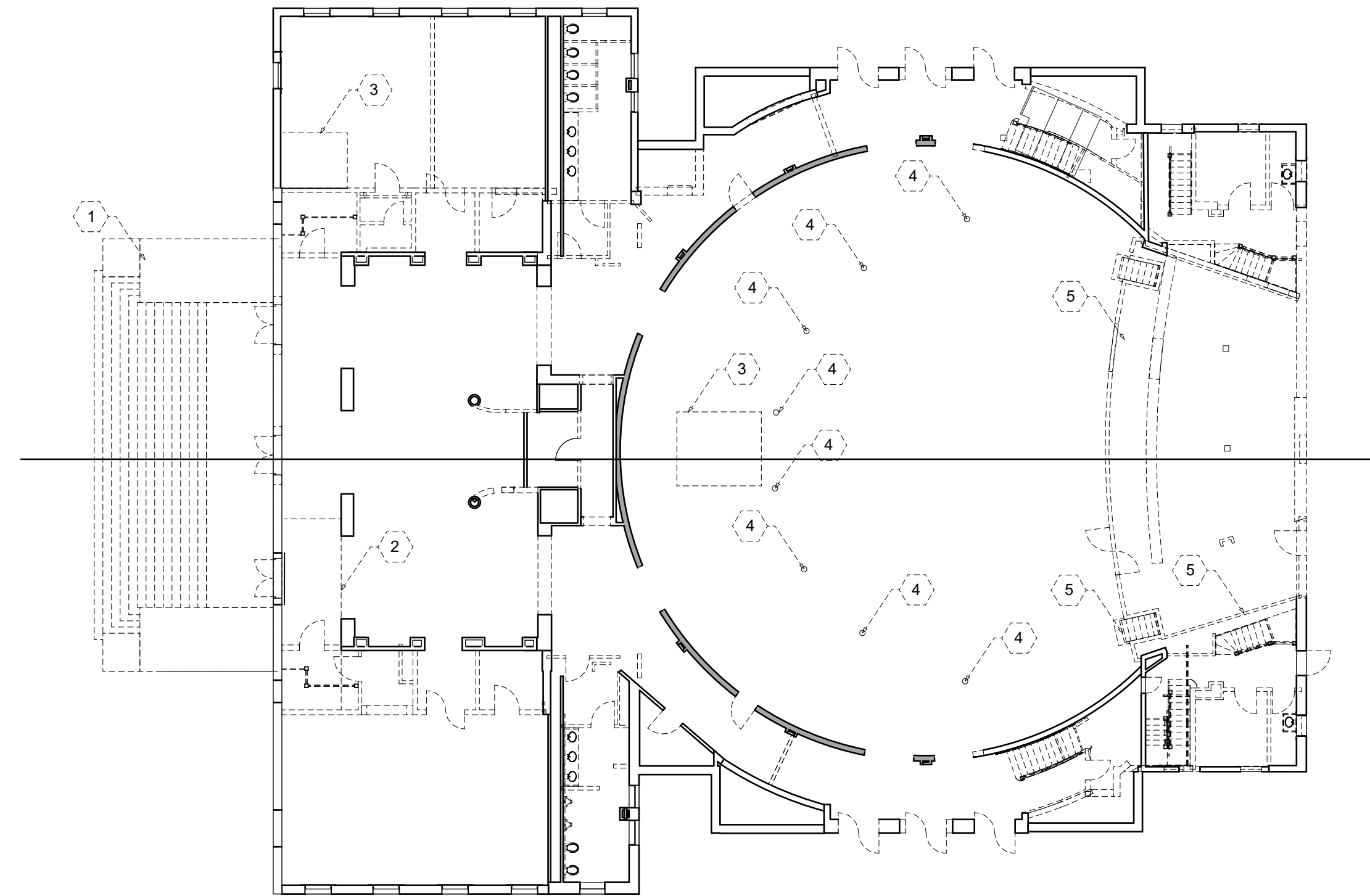
Third Floor Plan

A1.4

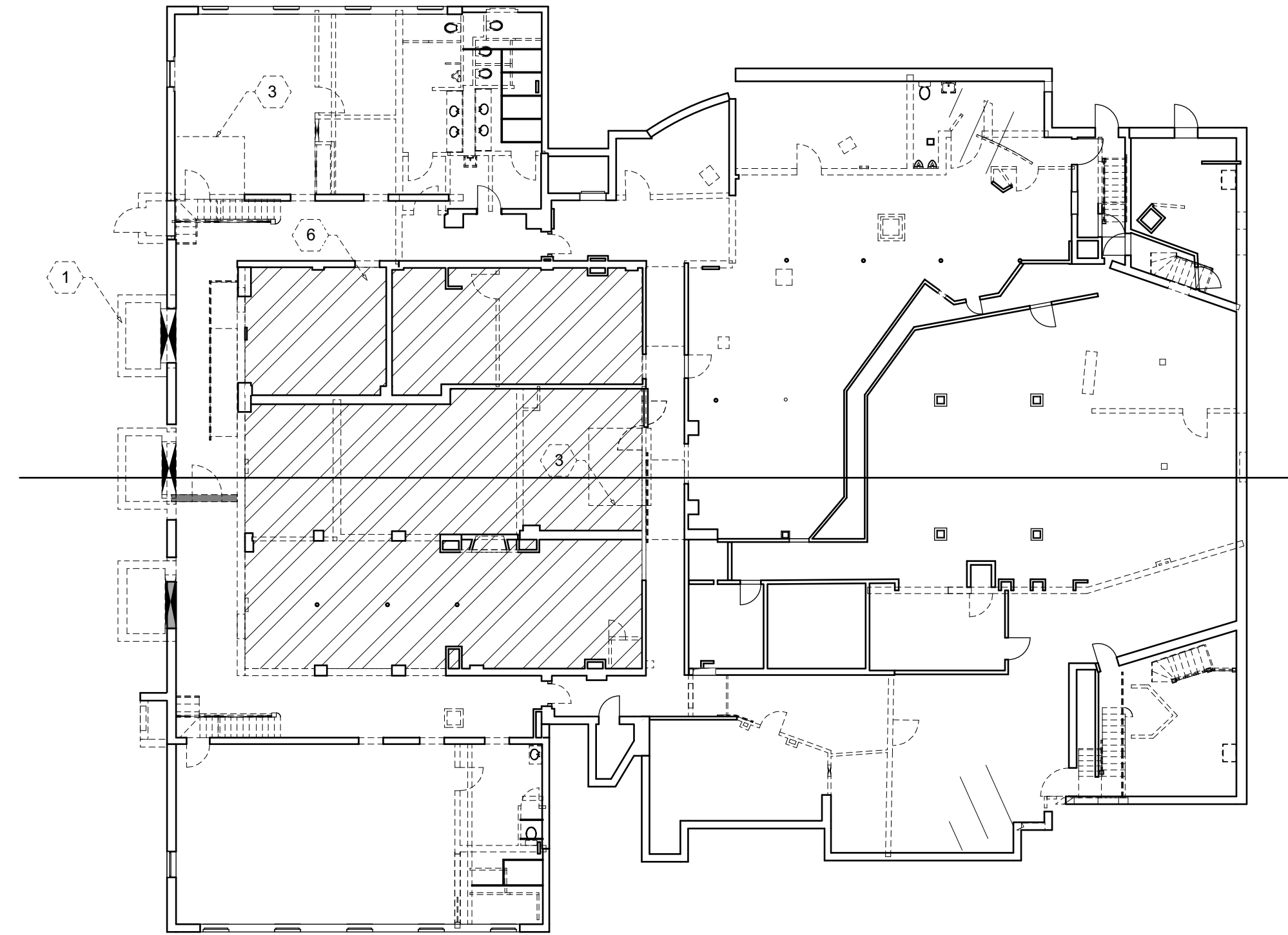
PLOT DATE: 9/5/24 @ 3:42 PM LAYOUT: A1.5:Floor Plans - DEMO FILENAME: MP - Allen County Memorial Hall.pln FILE PATH: I:\Users\adam\Documents\MP - Allen County Memorial Hall.pln



3 SECOND FLOOR DEMOLITION
A1.5 SCALE: 1/16" = 1'-0"



2 FIRST FLOOR DEMOLITION
A1.5 SCALE: 1/16" = 1'-0"



1 GROUND FLOOR DEMOLITION
A1.5 SCALE: 1/16" = 1'-0"

DEMOLITION KEY NOTES
SEE ARCH/STRUCT NARRATIVE FOR ADDITIONAL INFORMATION

1. REMOVE EXISTING EXTERIOR CONCRETE STAIRS/LANDING, MASONRY CHEEK WALLS, CONCRETE PLAZA AND STEPS.
2. REMOVE FLOOR FRAMING FOR NEW MONUMENTAL STAIR.
3. REMOVE FLOOR FRAMING FOR NEW ELEVATOR.
4. REMOVE EXISTING BALCONY SEATING, FLOOR SYSTEM INCLUDING STEEL STRUCTURE.
5. REMOVE EXISTING WOOD STAGE FLOORING INCLUDING WOOD FRAMING.
6. REMOVE EXISTING SLAB ON GRADE.

LEGEND NOTE: REFER TO NARRATIVE FOR ADDITIONAL INFORMATION

- DEMOLITION
- EXISTING WALL
- ▨ AREA OF EXISTING SLAB ON GRADE TO BE DEMOLISHED

FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS

1937/492-4983
www.freytaginc.com
info@freytaginc.com

226 N. MIAMI AVE.
PO. BOX 220
SIDNEY, OHIO 45365

FEASIBILITY STUDY
LIMA MEMORIAL HALL
RENOVATIONS AND ADDITIONS
FOR
BOULIQUE HOTEL/EVENT CENTER
LIMA, OH, 45801
130 W ELM ST

These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

REVISIONS	
COMM. NUMBER	DATE
2404	2/23/2024
DRAWN BY	CHECKED BY
AF	DF
DEMO	
A1.5	

PLOT DATE: 9/5/24 @ 3:42 PM LAYOUT: A2:Floor Plans : SECTION FILENAME: MP - Allen County Memorial Hall.pln FILE PATH: Users\sdam\Documents\MP - Allen County Memorial Hall.pln



1
A2 BUILDING SECTION STUDY
SCALE: 1/8" = 1'-0"

FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS
226 N. MIAMI AVE.
P.O. BOX 220
SIDNEY, OHIO 45365
(937) 492-4983
www.freytaginc.com
info@freytaginc.com

FEASIBILITY STUDY
LIMA MEMORIAL HALL
RENOVATIONS AND ADDITIONS
FOR
BOULIQUE HOTEL/EVENT CENTER
LIMA, OH, 45801
130 W ELM ST

These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

REVISIONS	

COMM. NUMBER	DATE
2404	2/23/2024
DRAWN BY	CHECKED BY
AF	DF

SECTION
A2

PLOT DATE: 9/5/24 @ 4:52 PM LAYOUT: S1:Floor Plans : STRUCTURAL FRAMING FILENAME: MP - Allen County Memorial Hall.pln FILE PATH: I:\Users\sadam\Documents\MP - Allen County Memorial Hall.pln

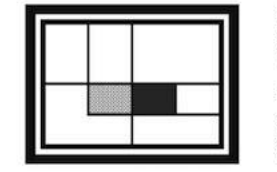


1
S1 NEW ADDITION ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

STRUCTURAL KEY NOTES

SEE ARCH/STRUCT NARRATIVE FOR ADDITIONAL INFORMATION

1. COLUMN- W10 X 49 TYPICAL
2. FOOTINGS UP TO 8'-0" SQ. MOST AROUND 6'-0"
3. 14K 10K JOIST @ 2'-0" O.C. TYP. EA. SECTION
4. 3 1/2" CONCRETE SLAB ON DECK TYP.
5. BEARING WALL ALONG EXISTING WALL
6. 14K JOIST @ 4'-0" O.C.
7. 10K JOIST @ 4'-0" O.C.
8. 12K JOIST @ 4'-0" O.C.
9. HSS 4 X 4 X 5/16 TYP. WITH 30" X 30" FOOTING



FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS

226 N. MIAMI AVE.
PO. BOX 220
SIDNEY, OHIO 45365
(937) 492-4983
www.freytaginc.com
info@freytaginc.com

FEASIBILITY STUDY
LIMA MEMORIAL HALL
RENOVATIONS AND ADDITIONS
FOR
BOUQUETTE HOTEL/EVENT CENTER
LIMA, OH, 45801
130 W ELM ST

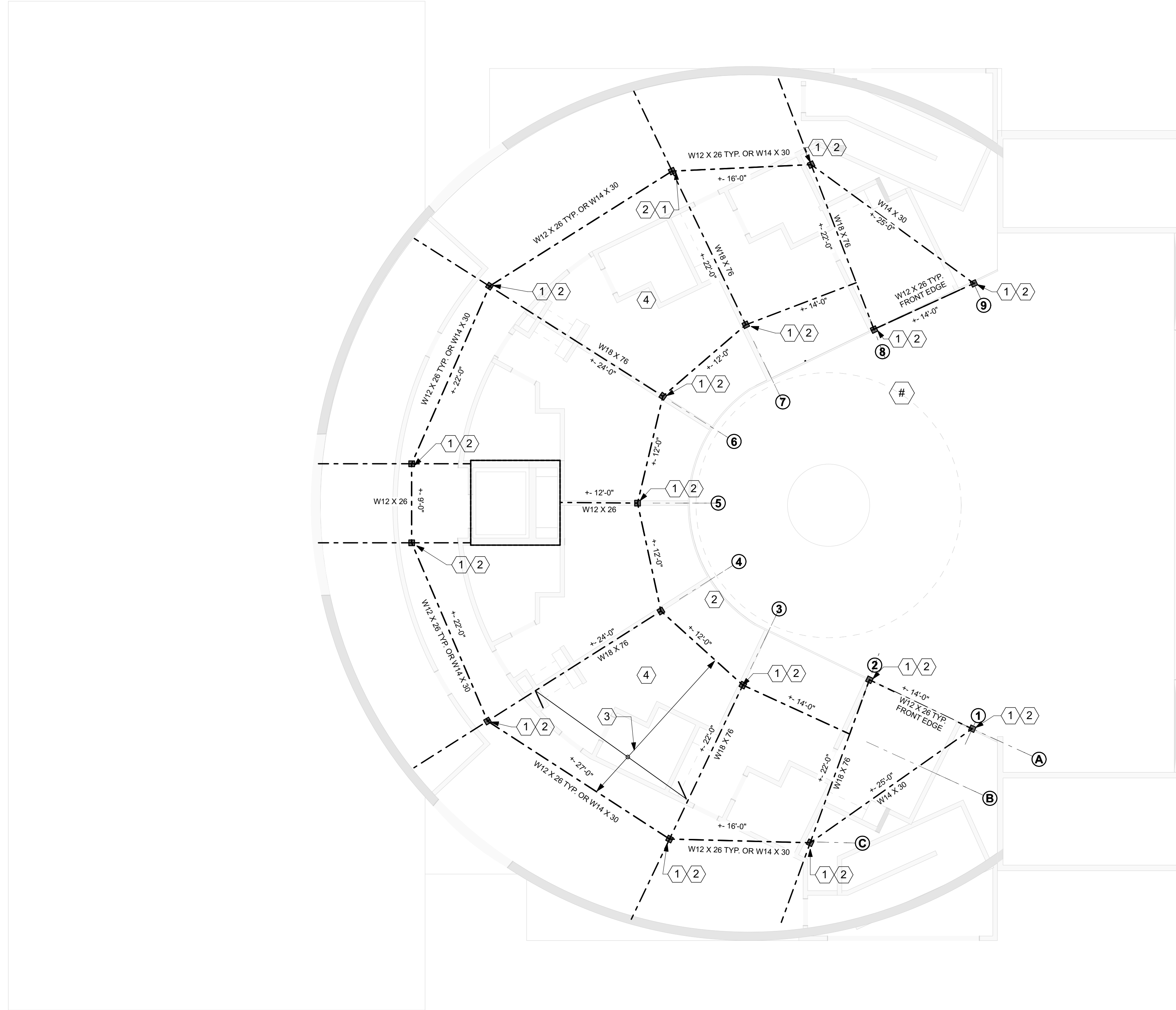
These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

REVISIONS	
COMM. NUMBER	DATE
2404	2/23/2024
DRAWN BY	CHECKED BY
AF	DF

STRUCTURAL FRAMING

S1

PLOT DATE: 9/5/24 @ 3:42 PM LAYOUT: S3:Floor Plans : STRUCTURAL FRAMING FILENAME: MP - Allen County Memorial Hall.pln FILE PATH: I:\Users\adam\Documents\MP - Allen County Memorial Hall.pln



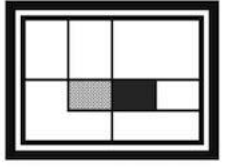
1 THIRD FLOOR FRAMING PLAN
S3 SCALE: 1/8" = 1'-0"

STRUCTURAL KEY NOTES

SEE ARCH/STRUCT NARRATIVE FOR ADDITIONAL INFORMATION

1. COLUMN- W10 X 49 TYPICAL
2. FOOTINGS UP TO 8'-0" SQ. MOST AROUND 6'-0"
3. 14K 10K JOIST @ 2'-0" O.C. TYP. EA. SECTION
4. 3 1/2" CONCRETE SLAB ON DECK TYP.
5. BEARING WALL ALONG EXISTING WALL
6. 14K JOIST @ 4'-0" O.C.
7. 10K JOIST @ 4'-0" O.C.

CANTILEVER BEAMS THRID



FREYTAG & ASSOCIATES INC.
ARCHITECTS ENGINEERS

226 N. MIAMI AVE.
PO. BOX 220
SIDNEY, OHIO 45365
(937) 492-4983
www.freytaginc.com
info@freytaginc.com

FEASIBILITY STUDY
LIMA MEMORIAL HALL
RENOVATIONS AND ADDITIONS
FOR
BOULIQUE HOTEL/EVENT CENTER
LIMA, OH, 45801
130 W ELM ST

These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge, and written consent of the Architect. Any change made without the Architect's written approval will void all such documents and instruments and the Architect will not be personally liable for any damage, harm or loss caused thereby.

REVISIONS

COMM. NUMBER	DATE
2404	2/23/2024
DRAWN BY AF	CHECKED BY DF

STRUCTURAL FRAMING

S3

ADDENDUM H

Design and Concept: “Memorial Legacy Hotel”

Concept

Provide a quality Boutique Hotel and Business & Professional Center, showcasing the existing Veterans Memorial Hall grand entrance way, with event rooms, business/conference room(s), a Veterans' display, and overnight rooms/suites. Any additional build-on space should keep the integrity of the existing Veterans Memorial Hall.

The expectation would include a theme honoring Veterans, the Legacy of Lima, and the historic structure of Veterans Memorial Hall, with features throughout the building that honor Lima's past, including rooms that respect the building, veterans, and the legacy of Lima.

Key People

- Mart Armstrong – First soldier of the Civil War to lose his life in 1862
- Benjamin Faurot – Pioneer, first oil well, Banks, Opera House – 1881
- Elizabeth MacDonald – Alexander MacDonald – pioneer Philanthropy – 1865
- Benjamin Shay – The Shay Locomotive – 1839
- Furl Williams – Grandson of a runaway slave – Ohio Steel Foundry – 1937
- John Van Dyke – Lima Solar Refinery/Standard Oil Co., first president – 1880s

Key Industry

- Oil and Refinery – First oil well – 1885
- John D. Rockefeller – 1870
- Lima Solar Refinery - founded Standard Oil Co.
- Solar Refinery – 1886-1903
- Standard Oil/SOHIO 1931 -1985
- British Petroleum 1985-1993
- Clark USA 1993-2003
- Premcor 2003-2005
- Valero 2005-2007
- Husky 2007 – 2021
- Cenovus 2021-present
- Lima Agriculture Works – Carnes & Harper & Co. – Lima Machine Works – Lima
- Locomotive – Baldwin-Lima-Hamilton – Clark Equipment
- Benjamin Shay – The Shay Locomotive – 1839
- Superior Coach – 1930 – 1969
- Ohio Steel – 1904 – 1930's
- Westinghouse – 1936 – 1979
- Ford Motor – 1957 to present
- Procter & Gamble – 1970 to present
- Lima Memorial Hospital
- St. Rita's/Mercy Health

ADDENDUM H (CONTINUED)

Key Timelines

- Founding of Lima – 1830
- First Gas & Oil – 1885

Opportunities

This would provide opportunities for the business community, boutique hotel approach for quality stays overnight to longer term, used for short-to-long-term arrangements. Could be used for:

- Business stays
- Traveling Doctors and Nurses
- Corporate arrangements
- Business retreats
- Team-building activities
- Client entertainment
- Corporate gathering
- Weddings
- Baby showers
- Engagement parties
- Gender-reveal parties
- And more

Event/Food Spaces to Consider

- Lounge/Small Restaurant
- Continental Breakfasts/Breakfast Room
- Smaller Bar & Lounge Space
- 2 Smaller Conference Rooms
- Business Room with office equipment
- 100 -Seat event banquet hall
- Outdoor Relaxation Area

ADDENDUM I

[EXAMPLE MOU] NON-BINDING MEMORANDUM OF UNDERSTANDING

THIS NON-BINDING MEMORANDUM OF UNDERSTANDING ("**MOU**") is made and entered into this ____ day of _____, 2026 (the "**Effective Date**") by the **PORT AUTHORITY OF ALLEN COUNTY**, a port authority duly organized under Ohio Revised Code Chapter 4582 ("**PAAC**") and _____, a _____ licensed to do business in the State of Ohio ("**Developer**"). PAAC and Developer are individually referred to as a "**Party**" and are collectively referred to as the "**Parties**".

RECITALS

A. The County of Allen, Ohio ("**County**"), is the owner of certain real estate comprising approximately [____] ([____]) acre parcel of real property consisting of Allen County Parcel Number(s) [____], commonly known as Memorial Hall (the "**Project Site**"), located at [____], Lima, Ohio ; and,

B. PAAC and the County previously entered into that certain Cooperative Agreement on January 8, 2026 with respect to the use of State of Ohio grant funding and general description of the project as more fully depicted on attached **EXHIBIT A** (the "**Project**"); and,

C. Developer is an experienced hospitality developer, as the owner and operator of ____ hotels and has been selected by PAAC pursuant to a Request for Qualifications as a party qualified to participate in the Hotel in the manner generally described in this MOU as the developer and owner/operator of the Hotel; and,

D. The purpose of this MOU is to set forth the terms and conditions pursuant to which the Parties commit to cooperate moving forward with respect to the Project, and specifically with respect to the Hotel.

NOW, THEREFORE, in consideration of the commitments set forth in this MOU, the Parties will proceed as follows:

I. COMMITMENT OF THE PARTIES

PAAC and Developer commit to undertake negotiations in good faith for the acquisition by the Developer of a ground leasehold interest in the Project Site, on terms generally consistent with the terms outlined on **EXHIBIT B** attached hereto and incorporated herein by reference.

II. DURATION

The duration of this MOU commences from the Effective Date and continues for the earlier of (a) [____] ([____]) consecutive days or (b) the effective date of an

ADDENDUM I (CONTINUED)

executed ground lease agreement and related transaction documents for memorializing the purchase and sale of the leasehold interest in the Project Site.

III. FURTHER ASSURANCE

The Parties commit to work collaboratively to negotiate, draft, execute, acknowledge and deliver such additional documents and take such additional actions as may be required to fulfill the terms and conditions of this MOU and complete the transaction(s) contemplated herein, as expeditiously as practicable.

IV. CONFIDENTIALITY

The terms and conditions of this MOU are to remain confidential and not disclosed to any third party unless disclosure of this MOU is required to facilitate the transactions contemplated herein. Notwithstanding the foregoing, the PAAC is a public entity organized pursuant to the Ohio Revised Code, which subjects it to certain public disclosure law requirements. The Parties acknowledge that the terms and conditions of this MOU may be disclosed by the PAAC pursuant to such legal requirements.

V. NON-BINDING INTENTIONS

This MOU neither is intended, nor should it be interpreted, as a legally binding contract between the Parties. Instead, this MOU is intended solely to operate as evidencing the intention of the Parties to proceed in good faith and in a collaborative fashion as it relates to the acquisition, lease, and development of the Property between the Parties.

VI. AMENDMENTS

This MOU may be amended from time-to-time prior to its expiration by mutual written assent of the Parties, which such amendment is effective on the date on which the last Party executes said amendment. Any such amendment supersedes and controls over conflicting provisions of this MOU. That said, all unaffected provisions of this MOU are to remain in place.

VII. TERMINATION

In the event any Party determines the terms and conditions of this MOU will not or cannot be carried out, said Party commits to immediately inform the other Party in writing of its intent to terminate this MOU as delivered to the addresses set out below (the "**Notice**"). The Parties then will meet and confer within three (3) business days of said Notice and attempt, in good faith, to reach a mutually agreed upon amendment as described in Section VI. If within seven (7) days of said meeting of the Parties an amendment cannot be reached, any Party may terminate this MOU upon written notification to the other Parties.

[Remainder of page intentionally left blank; signature page follows]

ADDENDUM I (CONTINUED)

PORT AUTHORITY OF ALLEN COUNTY

By: _____

Notice Address:

[DEVELOPER],
a _____

By: _____

Name: _____

Title: _____

Notice Address:

ADDENDUM I (CONTINUED)

EXHIBIT A

COOPERATIVE AGREEMENT

[See attached.]

ADDENDUM I (CONTINUED)

EXHIBIT B

TERMS AND CONDITIONS

1. Development Agreement for Project. PAAC and Developer each commit to cooperate in the construction of an approximately [____] room hotel and related improvements on the Project Site (the "**Project**"), pursuant to the terms of a Development Agreement to be entered into among PAAC and Developer ("**Development Agreement**"). Among other customary terms and conditions, the Development Agreement will provide as follows:

- 1.1 Ground Lease of Project Site. The Developer will, on or before [____], 2026 (the "**Closing**"), either (a) acquire fee simple title to the Project Site or (b) otherwise accept a leasehold interest in said property, the latter of which pursuant to the terms and conditions set out in a definitive ground lease agreement ("**Ground Lease**") to be entered into between PAAC and Developer. Among other customary terms and conditions, the Ground Lease will contain the terms and conditions set out in Section 2, below.
- 1.2 Franchise Agreement. The Developer will enter into and hold a license to operate the Project as a _____ pursuant to the terms of a franchise agreement ("**Franchise Agreement**") between Developer and _____ ("**Franchisor**"). Developer will make application to the Franchisor for the franchise within ____ days following the Effective Date of this MOU.
- 1.3 Other Entitlements. PAAC will cooperate with the Developer to cause the entitlements necessary to commence construction of the Project (e.g. zoning, subdivision, initial building permits, etc.), to be secured.
- 1.4 Conditions to Closing. The Development Agreement will set out the customary and appropriate conditions precedent to the obligations of the Parties to close on the acquisition of fee simple title or the execution and delivery of the Ground Lease, whichever is applicable, which conditions are to include:
 - i. Due Diligence. Completion of due diligence by PAAC and Developer with respect to the condition of the Project Site, authority and capacity of Developer, and feasibility of the Project;
 - ii. Third-Party Consents. Securing of any third-party consents and approvals required to accomplish the Project, including any consents required from the County pursuant to the Cooperative Agreement.

ADDENDUM I (CONTINUED)

- iii. Manager. Identification and due diligence as to the competency of the hotel management company selected by Developer, if applicable, with consent of PAAC (the "**Manager**")
- iv. Plan of Finance. PAAC and Developer will work together to develop a mutually agreed upon financing plan for the Project ("**Plan of Finance**") that leverages a combination of sources, including Developer owner equity, private commercial loan commitment, sales and use tax abatement and other subsidies or entitlements that contribute to the Project's financial feasibility and long-term success, and if necessary to fund any shortfall, as well as the issuance by PAAC of taxable special obligation lease revenue bonds to fund or partially fund the Project ("**Bonds**"). Subject to reasonable debt service coverage limitations to be agreed to by the Parties, the Ground Lease will grant Developer the right to encumber its leasehold interest and the improvements through the granting of a leasehold mortgage as collateral for any loans obtained by Developer to finance the Project. In anticipation of such liens, the Ground Lease must include customary terms and conditions related to the protection of the interests of secured lenders.

2. Grant of Ground Leasehold Interest and Ownership in Improvements. At the Closing, if PAAC and Developer enter into Ground Lease, PAAC will lease the Project Site to Developer for an initial term of not less than [_____] ([_]) years, together with two options to renew for [_____] ([_]) years each. In addition to the foregoing, and other customary terms and conditions, the Ground Lease must provide as follows:

- 2.1 Ground Lease Rent. The Parties anticipate that there will be no regular payments of base ground rents due from Developer and the only monetary obligations due from the Developer to the PAAC are to include items such as amounts, if any, as needed to satisfy any maintenance, tax, insurance and similar operating obligations of PAAC under the Ground Lease, and damages incurred by PAAC in the event of default by Developer. Notwithstanding the foregoing, if the Plan of Finance includes an obligation by PAAC to issue Bonds, then the Ground Lease must establish an obligation of Developer to make base rent payments in amounts sufficient to satisfy the debt service obligations of PAAC on the Bonds in full as the same become due.
- 2.2 New Community Authority and Tax Increment Financing PILOT Payments. As a means of supporting eligible expenses, including if applicable, payment of debt service on any obligations issued by PAAC in support of

ADDENDUM I (CONTINUED)

the Project, the PAAC and the County may, but are not obligated to, form a new community authority under Ohio law ("**NCA**") and submit the Project Site to certain restrictive covenants as part of the creation of said NCA. Developer, directly or through the Manager, will collect community charges on all guest stays and certain guest services and remit such charges to the NCA. In addition, the Project Site may be subject to an obligation to make payments in lieu of taxes in connection with tax increment financing established by the City of Lima in order to fund public infrastructure and portions of the Project.

- 2.3** Sales and Use Tax Exemption. PAAC may permit the purchase of building and construction materials to be incorporated into the Project to be exempt from Ohio state and local sales/use taxes. In such event, when it becomes necessary to order construction materials for the Project, pursuant to the provisions of the Ground Lease, the PAAC will issue a Construction Contract Sales Tax Exemption Certificate ("**Exemption Certificate**") that can be used for the purchase of building and construction materials for the Project. Nothing herein, or in the Ground Lease, or any other transaction document will require the PAAC to pay any such taxes or be construed as a guarantee by the PAAC of the availability or of the amount of any such tax savings. The proposed ownership and lease structure and the resulting benefits from the Project have been determined by PAAC to promote the public purposes of the PAAC, and the sales/use tax exemption described herein, if applicable, may be offered as an additional incentive to reduce the costs of the Project and induce the Developer to complete the Project in the manner agreed to by the Parties.
- 2.4** [Manager. Developer will agree to engage the Manager as the manager of the hotel operations acceptable to PAAC and Franchisor based upon mutually agreed upon qualifications and parameters, with any proposed change in management being subject to mutual consent.]
- 2.5** PAAC Rights. Among other terms to be agreed upon, Developer will grant PAAC in the Ground Lease the following rights and options:
- i.** Priority reservation of committable rooms on mutually agreeable terms to ensure that the hotel is available for use in the ordinary course;
 - ii.** The right to consent to any change in control and management;
 - iii.** A right of first refusal to acquire the Project Site in the event of a desire by Developer to sell to a third party at the then-current fair market value determined by appraisal(s) or at the option price offered by a bona fide good faith third party offeror;
 - v.** A right to consent to any change in use of the Project Site away from a hotel operation;

ADDENDUM I (CONTINUED)

- v. A right to consent to and/or receipt of notice regarding, certain amendments to the Franchise Agreement; and,
- vi. A right to consent to any reduction in total hotel bed count below the final agreed upon room count.
